

Downtown Winchester Historic Facade Renovation

Winchester Downtown Program

March 16, 2009

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Architecture Planning
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Urban Design

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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DATE

March 16, 2009

NOTE

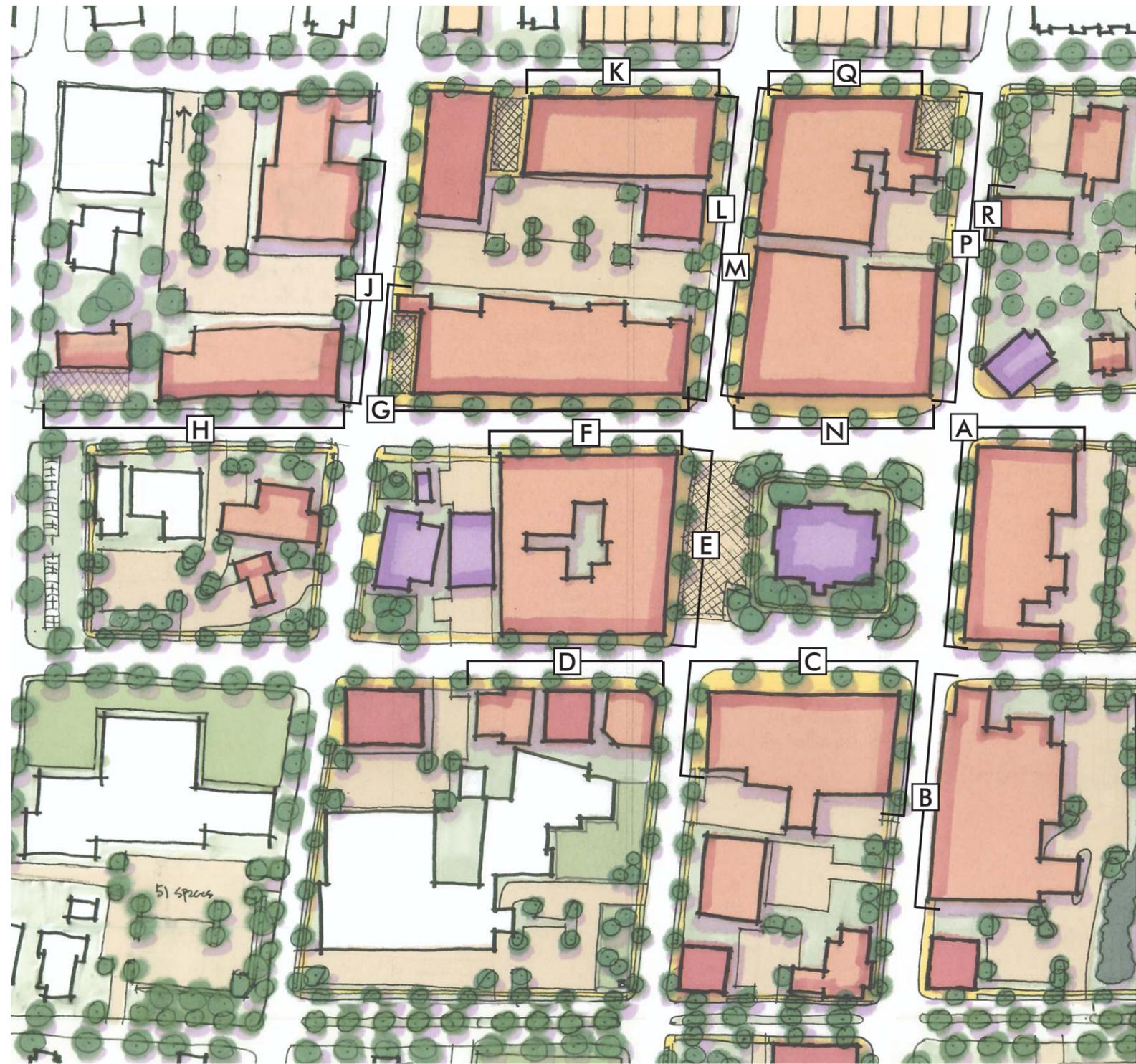
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and trees are represen-
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TITLE

Sheet Index

SHEET NO.

00



① DOWNTOWN WINCHESTER KEY PLAN
Scale: 1" = 200'



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Downtown Winchester
Key Plan

SHEET NO.

01

Suggested Awning, Trim & Brick Colors



Sherwin Williams Exterior Preservation Palette
Classic Yellow SW 2865 or similar



Sherwin Williams Exterior Preservation Palette
Classical White SW 2829 or similar



Sherwin Williams Exterior Preservation Palette
Roycroft Pewter SW 2848 or similar



Sherwin Williams Exterior Preservation Palette
Colonial Revival Tan SW 2828 or similar



Sherwin Williams Exterior Preservation Palette
Downing Earth SW 2820 or similar



Sherwin Williams Exterior Preservation Palette
Colonial Revival Green Stone SW 2826 or similar



Sherwin Williams Exterior Preservation Palette
Roycroft Copper Red SW 2839 or similar



Sherwin Williams Exterior Preservation Palette
Downing Stone SW 2821 or similar



Sherwin Williams Exterior Preservation Palette
Downing Slate SW 2819 or similar



Sherwin Williams Exterior Preservation Palette
Roycroft Bronze Green SW 2846 or similar

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TITLE

Suggested Color Chart

SHEET NO.

02



① STR-A: EXISTING COLLEGE STREET EAST STREETScape
Scale: Not to Scale



② STR-A: PROPOSED COLLEGE STREET EAST STREETScape
Scale: Not to Scale



③ STR-A: EXISTING 1st AVENUE NE SOUTH STREETScape
Scale: Not to Scale



④ STR-A: PROPOSED 1st AVENUE NE SOUTH STREETScape
Scale: Not to Scale

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TITLE

College Street East
Streetscapes:
Existing and Proposed

SHEET NO.

A-0

PROJECT NAME

Winchester Storefront
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TITLE

3 S College Street
Storefront Details:
Existing and Proposed

SHEET NO.

A-1



① A-1: 3 S COLLEGE STREET - EXISTING
Scale: Not to Scale

- Repair coping
- New signage band
- Paint columns to match existing field brick
- Remove plywood infill and substrate
- New canopy
- New transom windows
- New wood-clad aluminum storefront. See details, sheet Z-01
- New entry inset to match existing, repair, stain & seal existing concrete at entry



② A-1: 3 S COLLEGE STREET - PROPOSED
Scale: Not to Scale

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tative. Please reference
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TITLE

5 S College Street
Storefront Details:
Existing and Proposed

SHEET NO.

A-2



① A-1: 5 S COLLEGE STREET - EXISTING
Scale: Not to Scale

- Repair coping
- Optional lighting
- New signage band
- Paint columns to match existing field brick
- Remove plywood infill and substrate
- New transom windows
- New wood-clad aluminum storefront. See details, sheet Z-01
- New entry doors. Tile flooring to match existing adjacent entry



② A-2: 5 S COLLEGE STREET - PROPOSED
Scale: Not to Scale

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TITLE

9-11 S College Street
Storefront Details:
Existing and Proposed

SHEET NO.

A-3



① A-3: 9-11 S COLLEGE STREET - EXISTING
Scale: Not to Scale



② A-3: 9-11 S COLLEGE STREET - PROPOSED
Scale: Not to Scale

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TITLE

13-15 S College Street
Storefront Details:
Existing and Proposed

SHEET NO.

A-4



New brick cornice
& detailing

Tuck point face
brick as needed

New blade sign
& lighting

Scrape and paint
existing windows
& trim

New applied signage

New pendant light

Remove existing
canopies and trim

Remove tile from columns
& repair as needed

Remove existing plywood
infill and substrate

New wood-clad
aluminum storefront.
See details, sheet Z-01

Repair glass blocks
at entry to meet
local accessibility
requirements. Inset
to match existing



1 A-4: 13-15 S COLLEGE STREET - EXISTING
Scale: Not to Scale

2 A-4: 13-15 S COLLEGE STREET - EXISTING
Scale: Not to Scale

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TITLE

17-23 S College Street
Storefront Details:
Existing and Proposed

SHEET NO.

A-5

Remove existing cornice
pieces. Save and prepare
for reuse

Scrape/clean brick
for repainting

Remove existing window,
shutters and trim

Remove existing
canopies & anchors



① A-5: 17-23 S COLLEGE STREET - EXISTING
Scale: Not to Scale

New cornice. Use existing
cornice from adjacent
building to create mold

New windows, trim and
sills to match existing
adjacent building

Paint brick to match
existing adjacent building

Continuous trim band

Applied signage

New wood-clad
aluminum storefront &
entry doors.
See details, sheet Z-01



② A-5: 17-23 S COLLEGE STREET - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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TITLE

3 S College Street
(1st Avenue NE Facade)
Storefront Details:
Existing and Proposed

SHEET NO.

A-6

Remove existing
masonry infill

Scrape pilasters &
prepare for new paint



① A-6: 3 S COLLEGE STREET - EXISTING
Scale: Not to Scale

Optional lighting

New signage band

New canopy

Repair existing coping

New wood-
clad aluminum
double-hung windows

New uplights

Paint pilasters to
match existing wall brick



② A-6: 3 S COLLEGE STREET - PROPOSED
Scale: Not to Scale

New wood-clad
aluminum storefront.
See details, sheet Z-01

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tative. Please reference
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TITLE

S College Street
East Streetscapes:
Existing and Proposed

SHEET NO.

B-0



① STR-B: EXISTING S COLLEGE STREET EAST STREETScape
Scale: Not to Scale



② STR-B: PROPOSED S COLLEGE STREET EAST STREETScape
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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TITLE

101 S College Street
Storefront Details:
Existing and Proposed

SHEET NO.

B-1



Remove existing overhangs

New parapet. Brick
to match existing

New metal cornice
with optional
mounted signage

Remove existing windows,
doors and brick as required
for new openings

New wood-clad
aluminum storefront &
transoms. New steel
columns & headers at
openings (typical).
See details, sheet Z-01

Repair, stain & seal
concrete at entry

1 B-1: 101 S COLLEGE STREET - EXISTING
Scale: Not to Scale

2 B-1: 101 S COLLEGE STREET - EXISTING
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
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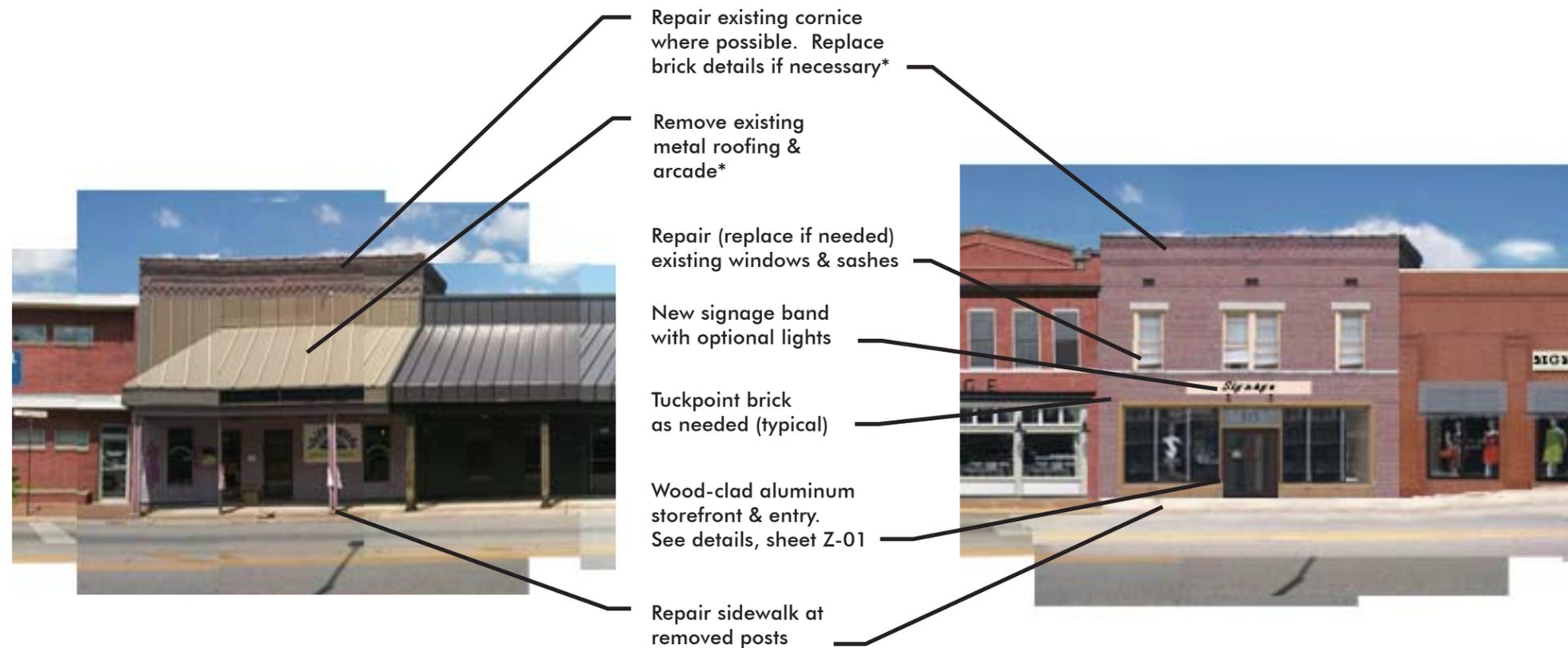
TITLE

103 S College Street
Storefront Details:
Existing and Proposed

SHEET NO.

B-2

** Note:* Details shown are approximated. Final design will depend on condition of brick & details under metal cladding.



① B-2: 103 S COLLEGE STREET - EXISTING
Scale: Not to Scale

② B-2: 103 S COLLEGE STREET - EXISTING
Scale: Not to Scale

PROJECT NAME

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TITLE

105-121 S College Street
Storefront Details:
Existing and Proposed

SHEET NO.

B-3



Remove existing
metal roofing &
arcade

Remove existing storefront
& wood siding. Prepare
wall surface for new brick &
storefront openings

① B-3: 105-121 S COLLEGE STREET - EXISTING
Scale: Not to Scale



New coping at parapet.
Brick parapet height to
match existing

New signage with
optional lights or
backlighting

New aluminum storefront.
See details, sheet Z-01

New brick pilasters

New canopies

② B-3: 105-121 S COLLEGE STREET - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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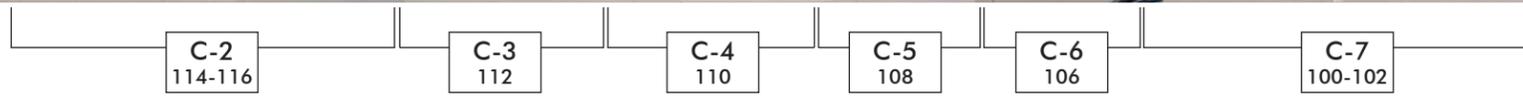
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TITLE

1st Avenue SE
South Streetscapes:
Existing and Proposed

SHEET NO.

C-0



① STR-C: EXISTING 1st AVENUE SE SOUTH STREETSCAPE
Scale: Not to Scale



② STR-C: PROPOSED 1st AVENUE SE SOUTH STREETSCAPE
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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NOTE

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TITLE

S College Street West
S Jefferson Street East
Streetscapes:
Existing and Proposed

SHEET NO.

C-0a



C-1
116

① STR-C: EXISTING S COLLEGE STREET WEST STREETScape
Scale: Not to Scale



② STR-C: PROPOSED S COLLEGE STREET WEST STREETScape
Scale: Not to Scale



C-8
100

③ STR-C: EXISTING S JEFFERSON STREET EAST STREETScape
Scale: Not to Scale



④ STR-C: PROPOSED S JEFFERSON STREET EAST STREETScape
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

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TITLE

116 1st Avenue SE
(S College Street Facade)
Storefront Details:
Existing and Proposed

SHEET NO.

C-1

Scrape existing windows
& window trim. Prepare
surfaces for new paint

Scrape existing brick,
details and cornice.
Tuck point brick as needed

Remove masonry infill.
Prepare for new windows

Clean & scrape existing
metal roofing

① C-1: 116 1st AVENUE SE - EXISTING
Scale: Not to Scale

Remove existing canopy.
Repair brick at anchors

Remove existing storefront &
plywood infill & substrate

New wood-clad
aluminum storefront &
transoms (to match 1st
St Facade). See details,
sheet Z-01

New blade sign

Repaint existing
cornice

Repaint existing
windows & trim

New applied signage
and optional lights

New windows to
match existing. Panels
to match building front

New canopies

② C-1: 116 1st AVENUE SE - PROPOSED
Scale: Not to Scale

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TITLE

114-116 1st Avenue SE
Storefront Details:
Existing and Proposed

SHEET NO.

C-2

- Remove existing metal cladding, tuck point brick as needed
- Scrape windows and trim
- Remove existing plywood infill and substrate
- Remove existing canopy and anchors. Repair sidewalk at columns



① C-2: 114-116 1st AVENUE SE - EXISTING
Scale: Not to Scale

- Repair & repaint existing cornice
- Repaint existing windows & trim
- New blade sign
- New metal columns, painted to match trim
- New canopy
- New wood-clad aluminum transoms & storefront. See details, sheet Z-01



② C-2: 114-116 1st AVENUE SE - PROPOSED
Scale: Not to Scale

Restore existing tile entry where present (typical). If not, new concrete stoop and sill

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Sidewalks, light fixtures
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tative. Please reference
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for specific location.

TITLE

112 1st Avenue SE
Storefront Details:
Existing and Proposed

SHEET NO.

C-3



① C-3: 112 1st AVENUE SE - EXISTING
Scale: Not to Scale

Scrape/brush existing
cladding & columns.
Prepare all surfaces
for repainting. Replace
detailing as needed

Remove existing window
condenser unit

Scrape existing windows
& window trim. Repaint
to match storefront trim

Remove existing plywood
infill and substrate.
Repair existing interior
water damage and apply
sealant at all joints (typical)

New canopy

New wood-clad
aluminum transoms
& storefront.
See details, sheet Z-01

Remove existing canopy and
anchors. Repair sidewalk at
columns

Restore existing tile entry
where present (typical). If not,
new concrete stoop and sill



② C-3: 112 1st AVENUE SE - PROPOSED
Scale: Not to Scale

PROJECT NAME

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Sidewalks, light fixtures
and trees are represen-
tative. Please reference
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for specific location.

TITLE

110 1st Avenue SE
Storefront Details:
Existing and Proposed

SHEET NO.

C-4



① C-4: 110 1st AVENUE SE - EXISTING
Scale: Not to Scale

Scrape/clean existing
brick & mortar. Tuck
point as needed. If
necessary, prepare
all surfaces for repainting

Scrape existing
windows, prepare
surfaces for repainting.
Repaint windows & trim
to match new storefront

New uplights

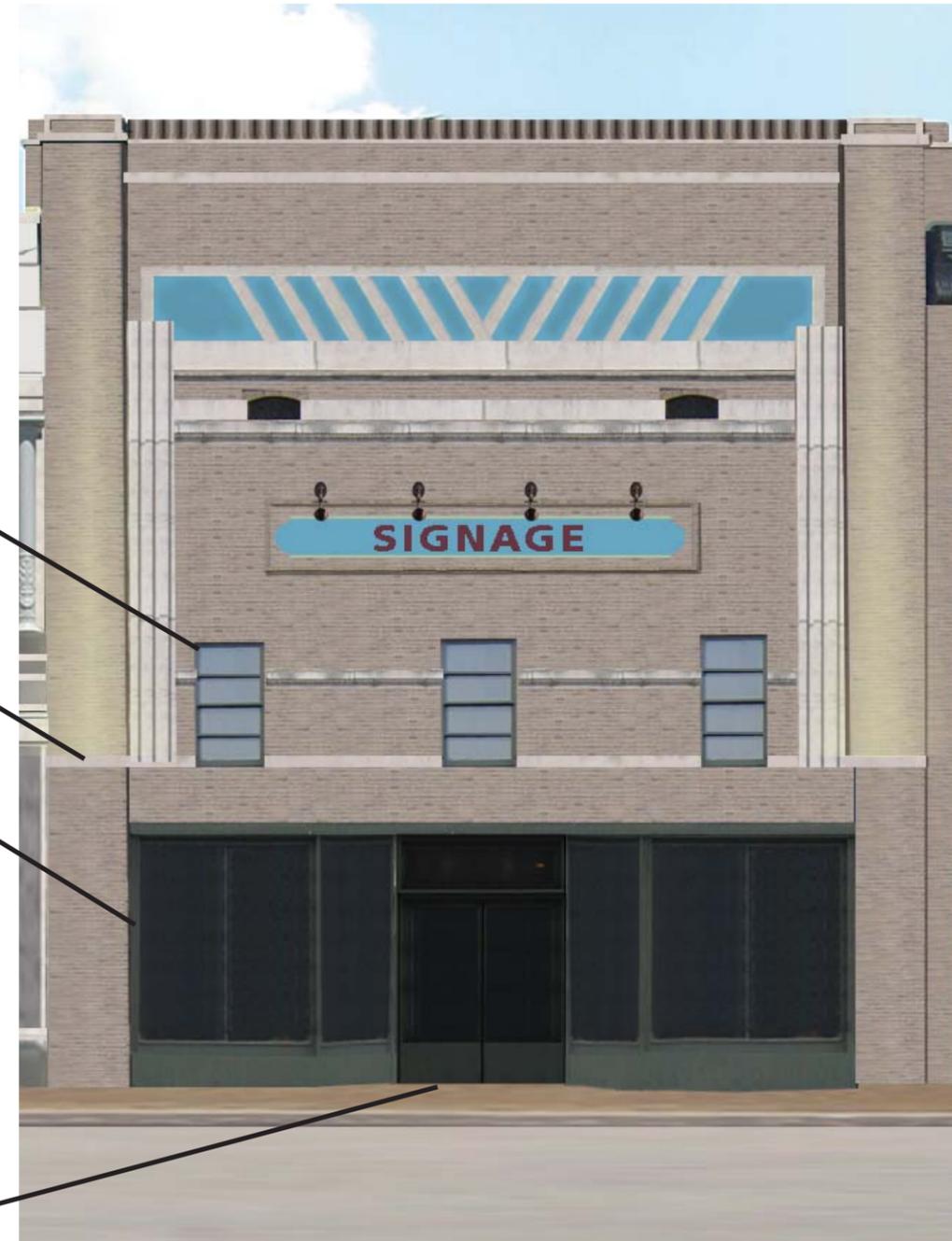
Remove existing
window condenser unit

New wood-clad
aluminum storefront.
See details, sheet Z-01

Remove existing cladding.
Repair & replace brick
& mortar as needed (typical)

Remove existing canopy and
anchors. Repair sidewalk at
columns

Restore existing tile entry
where present (typical). If not,
new concrete stoop and sill.
Recess to match existing



② C-4: 110 1st AVENUE SE - PROPOSED
Scale: Not to Scale

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TITLE

108 1st Avenue SE
Storefront Details:
Existing and Proposed

SHEET NO.

C-5



① C-5: 108 1st AVENUE SE - EXISTING
Scale: Not to Scale

Scrape existing
face brick. Tuck
point as needed.
Repaint brick and
masonry trim

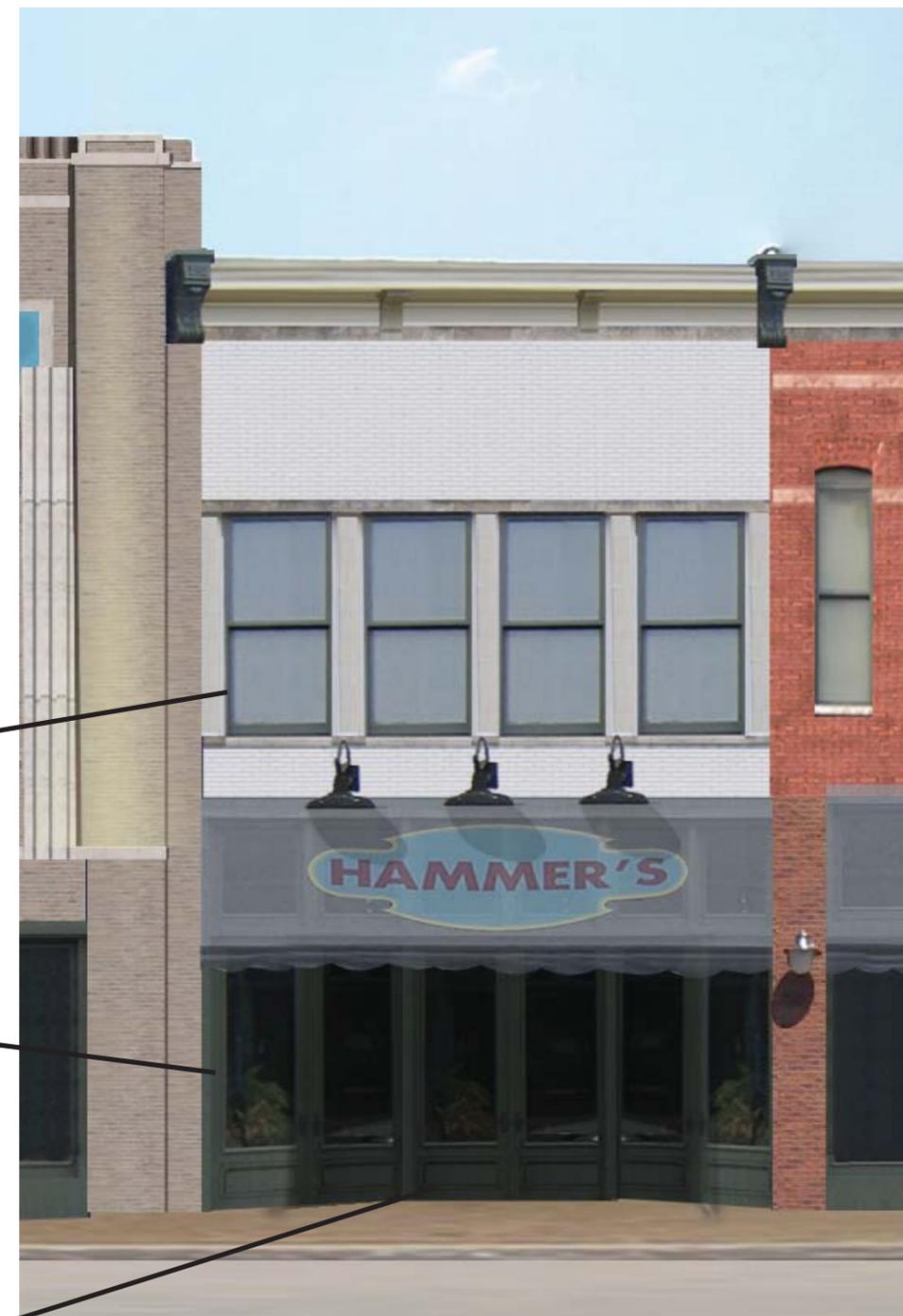
Scrape & repaint
windows and trim.
Apply sealant to
all joints (typical)

Remove existing
brick infill

New wood-clad
aluminum transoms
& storefront to match
historic.
See details, sheet Z-01

Remove existing canopy and
anchors. Repair sidewalk at
columns

New concrete stoop and sill



② C-5: 108 1st AVENUE SE - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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DATE

March 16, 2009

NOTE

Sidewalks, light fixtures
and trees are represen-
tative. Please reference
Master Plan document
for specific location.

TITLE

106 1st Avenue SE
Storefront Details:
Existing and Proposed

SHEET NO.

C-6



① C-6: 106 1st AVENUE SE - EXISTING
Scale: Not to Scale

Rebuild parapet & cornice
to match historic, & existing
adjacent building
(see sheet C-7)

Remove existing window

Remove existing brick infill
as necessary for new
window openings. New
wood-clad aluminum
windows and concrete sills
to match historic.
Apply sealant at all joints
(typical)

Remove existing metal
cladding. Repair/restore
brick & mortar as needed

New Exterior
wall sconces

New wood-clad
aluminum transoms
& storefront to match
historic.
See details, sheet Z-01

Remove existing canopy and
anchors. Repair sidewalk at
columns



② C-6: 106 1st AVENUE SE - PROPOSED
Scale: Not to Scale

- Remove existing metal parapet
- Scrape/brush existing metal cornice, columns & detailing. Repair/replace as needed
- Scrape existing windows and trim. Prepare all surfaces for repainting
- Remove existing window condenser units
- Remove existing canopy, anchors and columns. Repair sidewalk at columns



① C-7: 100-102 1st AVENUE SE - EXISTING
Scale: Not to Scale

- Repaint metal cornice, brackets & columns
- Repaint windows & trim to match new storefront. Apply sealant to all joints (typical)
- Repaint existing/repainted moulding
- New wood-clad aluminum transoms & storefront. See details, sheet Z-01
- New concrete columns



② C-7: 100-102 1st AVENUE SE - PROPOSED
Scale: Not to Scale

LRK

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PROJECT NAME

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PROJECT NUMBER

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TITLE

100-102 1st Avenue SE
Storefront Details:
Existing and Proposed

SHEET NO.

C-7

- Tuck point brick as needed (typical)
- Scrape existing windows and trim. Prepare for paint
- Remove existing condenser unit
- Remove existing windows & masonry infill
- Remove existing paint



Repair existing brick cornice

① C-8: 100 1st AVENUE SE - EXISTING
Scale: Not to Scale

- Repaint metal cornice
- New lights
- Repaint existing masonry details
- New canopies to match front facade
- New storefront & transoms to match front facade. See details, sheet Z-01



New concrete lintels

New applied signage with lights

② C-8: 100 1st AVENUE SE - PROPOSED
Scale: Not to Scale



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TITLE

100 1st Avenue SE
(S Jefferson Street Facade)
Storefront Details:
Existing and Proposed

SHEET NO.

C-8



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NOTE

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and trees are represen-
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TITLE

1st Avenue SW
South Streetscapes:
Existing and Proposed

SHEET NO.

D-0



① **STR-D: EXISTING 1st AVENUE SW SOUTH STREETSCAPE**
Scale: Not to Scale



② **STR-D: PROPOSED 1st AVENUE SW SOUTH STREETSCAPE**
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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TITLE

101 1st Avenue SW
Storefront Details:
Existing and Proposed

SHEET NO.

D-1

Remove existing canopy



① D-1: 101 1st AVENUE SW - EXISTING
Scale: Not to Scale

New raised brick cornice

New raised brick panels

New canopies

Applied signage
with optional lights
or backlighting



② D-1: 101 1st AVENUE SW - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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NOTE

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TITLE

109 1st Avenue SW
Storefront Details:
Existing and Proposed

SHEET NO.

D-2

Remove existing brick &
header above opening

Remove paint from
existing brick. Tuck
point as needed

Remove existing
windows & entry



① D-2: 109 1st AVENUE SW - EXISTING
Scale: Not to Scale

New brick cornice
& details.
New brick veneer
to match existing

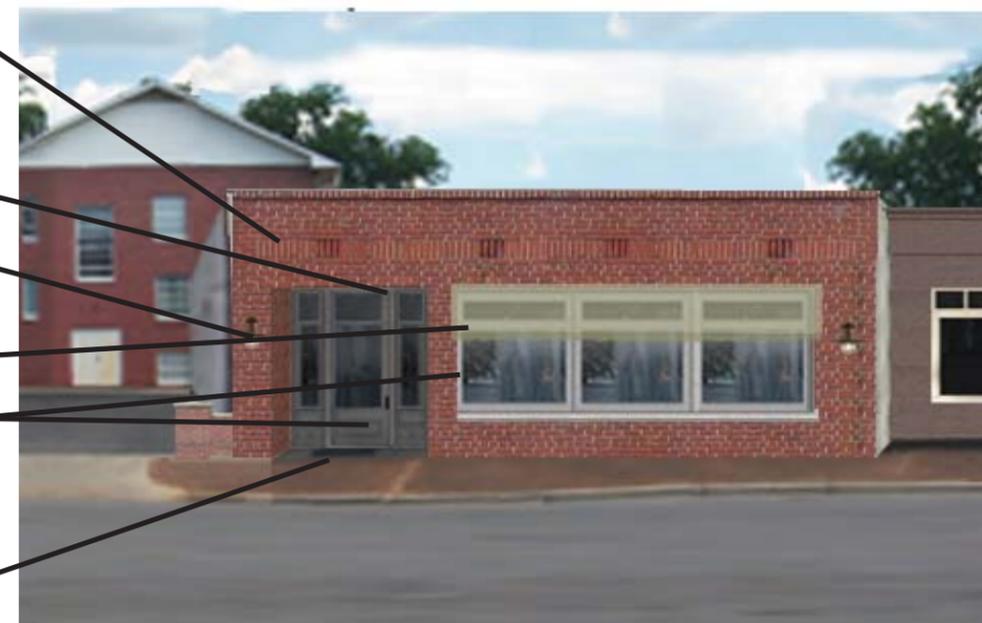
New steel header
above opening

New exterior wall sconce

New canopy

New storefront entry &
windows. See details, sheet
Z-01. Inset to match existing

Repair concrete at entry.
Stain & seal



② D-2: 109 1st AVENUE SW - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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TITLE

111 1st Avenue SW
Storefront Details:
Existing and Proposed

SHEET NO.

D-3



① D-3: 111 1st AVENUE SW - EXISTING
Scale: Not to Scale

New brick parapet
with metal coping at
cap. Paint brick
to match existing wall

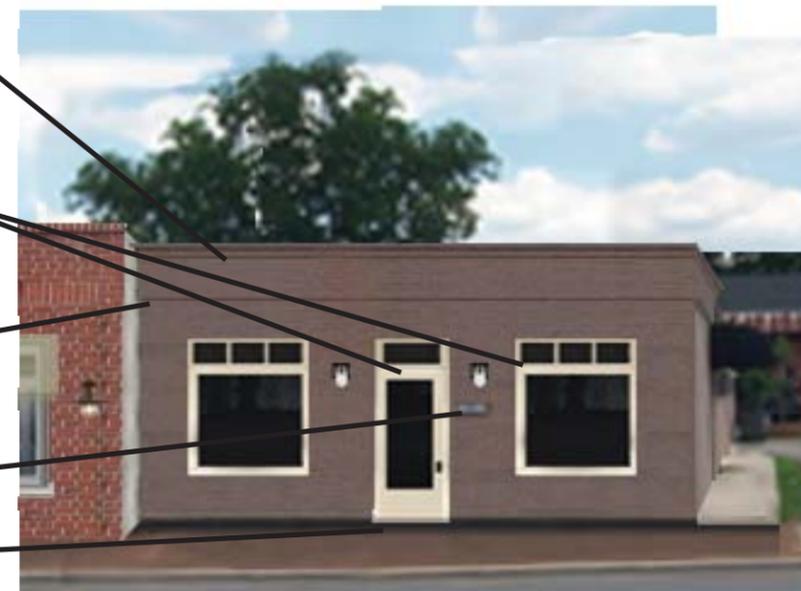
Remove existing canopy,
windows & entry door

New storefront windows,
entry door & transom.
See details, sheet Z-01

Brick soldier course

New exterior wall
sconces & applied signage

Repair sidewalk at entry



② D-3: 111 1st AVENUE SW - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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NOTE

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TITLE

S Jefferson Street
West Streetscapes:
Existing and Proposed

SHEET NO.

E-0



① STR-E: EXISTING S JEFFERSON STREET WEST STREETScape
Scale: Not to Scale



② STR-E: PROPOSED S JEFFERSON STREET WEST STREETScape
Scale: Not to Scale



① E-1: 18 S JEFFERSON STREET - EXISTING
Scale: Not to Scale

Replace windows with wood-clad aluminum to match historic



② E-1: 18 S JEFFERSON STREET - PROPOSED
Scale: Not to Scale

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PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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FILE NAME

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NOTE

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and trees are represen-
tative. Please reference
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TITLE

18 S Jefferson Street
Storefront Details:
Existing and Proposed

SHEET NO.

E-1



① E-2: 18 S JEFFERSON STREET - EXISTING
Scale: Not to Scale

Repaint masonry to match lower

New masonry to match existing

New double-hung wood-clad aluminum windows. Apply sealant at all joints (typical)

New applied signage & lighting

New wood-clad aluminum storefront & transoms. See details, sheet Z-01



② E-2: 18 S JEFFERSON STREET - PROPOSED
Scale: Not to Scale

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Rehabilitation

PROJECT NUMBER

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NOTE

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and trees are represen-
tative. Please reference
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TITLE

18 S Jefferson Street
Storefront Details:
Existing and Proposed

SHEET NO.

E-2



① E-3: 14 S JEFFERSON STREET - EXISTING
Scale: Not to Scale

Scrape existing brick.
Tuck point & replace
as necessary.
Prepare surfaces for repaint

Remove plywood
infill and substrate.
New wood-clad
aluminum windows.

New applied signage

New wood-clad
aluminum storefront
& transoms. See
details, sheet Z-01



② E-3: 14 S JEFFERSON STREET - PROPOSED
Scale: Not to Scale

New canopy

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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tative. Please reference
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TITLE

14 S Jefferson Street
Storefront Details:
Existing and Proposed

SHEET NO.

E-3

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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TITLE

14 S Jefferson Street
Storefront Details:
Existing and Proposed
Alternative

SHEET NO.

E-3 ALT



① E-3: 14 S JEFFERSON STREET - EXISTING
Scale: Not to Scale

Remove existing metal roof,
framing & decking.
New roof & trusses (if needed),
sloping to center of block

Scrape existing brick.
Tuck point & replace
as necessary.
Prepare surfaces for repaint

Remove plywood
infill and substrate.
New wood-clad
aluminum windows.

New applied signage

Paint existing electrical
equipment to match
exterior walls (typical)

New wood-clad
aluminum storefront
& transoms. See
details, sheet Z-01



② E-3: 14 S JEFFERSON STREET - PROPOSED ALTERNATE
Scale: Not to Scale

New canopy



Scrape existing brick.
Tuck point & repair
as necessary

Remove existing windows.
Replace with wood-clad
aluminum windows to
match existing

Remove existing canopy,
anchors & trim

New canopy

New wood-clad
aluminum storefront
& transoms. See
details, sheet Z-01

Repair existing tile at entry



① E-4: 12 S JEFFERSON STREET - EXISTING
Scale: Not to Scale

② E-4: 12 S JEFFERSON STREET - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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FILE NAME

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NOTE

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and trees are represen-
tative. Please reference
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TITLE

12 S Jefferson Street
Storefront Details:
Existing and Proposed

SHEET NO.

E-4

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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NOTE

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tative. Please reference
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TITLE

4-10 S Jefferson Street
Storefront Details:
Existing and Proposed

SHEET NO.

E-5

Scrape & repair
existing brick.
Prepare all surfaces
for repainting

Remove existing
metal shades
& windows

Remove existing canopy
and brick infill as necessary
for new storefront & transoms



① E-5: 4-10 S JEFFERSON STREET - EXISTING
Scale: Not to Scale

Repaint face brick to match
existing adjacent building

New applied signage

New raised-brick
signage band

New wood-clad
aluminum storefront
& transoms (typical).
See details, sheet Z-01



② E-5: 4-10 S JEFFERSON STREET - PROPOSED
Scale: Not to Scale



- Tuck point existing brick as needed
- Remove existing wood shutters. Install new double-hung wood-clad aluminum windows
- Remove existing canopy
- New canopy
- New wood-clad aluminum storefront. See details, sheet Z-01
- Remove cladding from existing column

1 E-6: 2 S JEFFERSON STREET - EXISTING
Scale: Not to Scale



- Repair brick details as needed
- Repair cornice as needed
- Repair existing concrete at entry. Inset to match existing
- Clad column to match existing wall surface

2 E-6: 2 S JEFFERSON STREET - EXISTING
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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NOTE

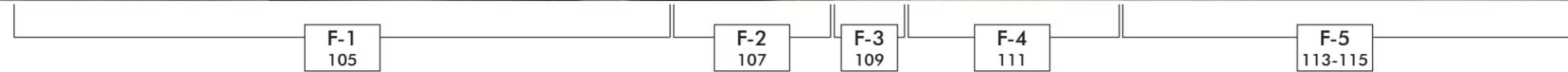
Sidewalks, light fixtures
and trees are represen-
tative. Please reference
Master Plan document
for specific location.

TITLE

1st Avenue NW
South Streetscapes:
Existing and Proposed

SHEET NO.

F-0



① STR-F: EXISTING 1st AVENUE NW SOUTH STREETScape
Scale: Not to Scale



② STR-F: PROPOSED 1st AVENUE NW SOUTH STREETScape
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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NOTE

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tative. Please reference
Master Plan document
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TITLE

105 1st Avenue NW
Storefront Details:
Existing and Proposed

SHEET NO.

F-1

- Repair cornice & coping as necessary
- Remove existing shutters
- Remove existing canopy, anchors & supports. Repair wall at anchors
- Remove wall as needed for new storefront
- Remove infill & substrate for circular windows



① F-1: 105 1st AVENUE NW - EXISTING
Scale: Not to Scale

- New double-hung wood-clad aluminum windows (typical)
- New wall-mounted signage with optional lights
- New canopy
- Wood-clad aluminum storefront to match Jefferson Street facade. See details, sheet Z-01



② F-1: 105 1st AVENUE NW - PROPOSED
Scale: Not to Scale

Optional signage for 2nd level tenants

Remove existing doors

New double-hung wood-clad aluminum windows (typical)

New trim band

New wood-clad aluminum doors

New metal canopies

Paint electric meters to match exterior wall

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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NOTE

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and trees are represen-
tative. Please reference
Master Plan document
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TITLE

107 1st Avenue NW-
Storefront Details:
Existing and Proposed

SHEET NO.

F-2



2 F-2: 107 1st AVENUE NW - EXISTING
Scale: Not to Scale

Remove existing damaged
brick and straps. Tuck
point brick as necessary

New brick cornice. Paint
to match existing wall color

Remove existing window,
window frame and trim

New wood-clad
aluminum double-hung
windows with masonry
lintels and sills

New wall-mounted signage
with optional lights

Remove existing canopy

New masonry lintel
and frame

Remove existing condenser
unit, storefront & entry.
New wood-clad aluminum
storefront, transoms & entry.
See details, sheet Z-01

Remove existing downspouts.
New metal downspouts
and collector boxes,
painted to match
exterior wall

New concrete entry,
stained & sealed. Inset
to match existing



2 F-2: 107 1st AVENUE NW - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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NOTE

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and trees are represen-
tative. Please reference
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TITLE

109 1st Avenue NW
Storefront Details:
Existing and Proposed

SHEET NO.

F-3



① F-3: 109 1st AVENUE NW - EXISTING
Scale: Not to Scale

Tuckpoint & repaint
existing brick as needed

Remove existing canopy

New canopy

Remove existing plywood
infill & substrate. New
wood-clad aluminum
storefront. See details,
sheet Z-01

New concrete at entry.
Inset to match existing



② F-3: 109 1st AVENUE NW - PROPOSED
Scale: Not to Scale

PROJECT NAME

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Rehabilitation

PROJECT NUMBER

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TITLE

111 1st Avenue NW
Storefront Details:
Existing and Proposed

SHEET NO.

F-4



Repair & replace metal
coping as needed

Tuck point brick as needed

Remove existing
windows & trim

New wood-clad
aluminum double-
hung windows

Remove existing metal
flashing

New applied signage
with optional lights
or backlighting

Remove existing
brick infill panel,
windows and entry doors

New wood-clad
aluminum storefront,
entry doors and transoms.
See details, sheet Z-01

New exterior wall sconces

Paint electrical meter
to match existing wall



2 F-4: 111 1st AVENUE NW - PROPOSED
Scale: Not to Scale

2 F-4: 111 1st AVENUE NW - EXISTING
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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NOTE

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TITLE

113-115 1st Avenue NW
Storefront Details:
Existing and Proposed

SHEET NO.

F-5

Remove existing windows
& brick infill

Remove existing
canopies & anchors.
Repair brick as needed

Remove existing
canopies

Remove existing infill &
substrate, windows & doors



① F-5: 113-115 1st AVENUE NW - EXISTING

Scale: Not to Scale

New wood-clad aluminum
single-hung windows

New raised brick course

New canopies

New wood-clad
aluminum storefront,
entry and transoms.
See details, sheet Z-01

Paint electrical meter
to match existing brick

Repair concrete at insets,
stained and sealed. Caulk
all joints at wall (typical)



② F-5: 113-115 1st AVENUE NW - PROPOSED

Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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FILE NAME

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NOTE

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and trees are represen-
tative. Please reference
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TITLE

1st Avenue NW
North Streetscapes:
Existing and Proposed

SHEET NO.

G-0



G-2
120-126

G-3
114-118

G-4
112

G-5
110

G-6
108

G-7
102-106

1 STR-G: EXISTING 1st AVENUE NW NORTH STREETSCAPE
Scale: Not to Scale



2 STR-G: PROPOSED 1st AVENUE NW NORTH STREETSCAPE
Scale: Not to Scale



G-1
106

3 STR-G: EXISTING N HIGH STREET EAST STREETScape
Scale: Not to Scale



New brick planters

4 STR-G: PROPOSED N HIGH STREET EAST STREETScape
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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FILE NAME

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NOTE

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and trees are represen-
tative. Please reference
Master Plan document
for specific location.

TITLE

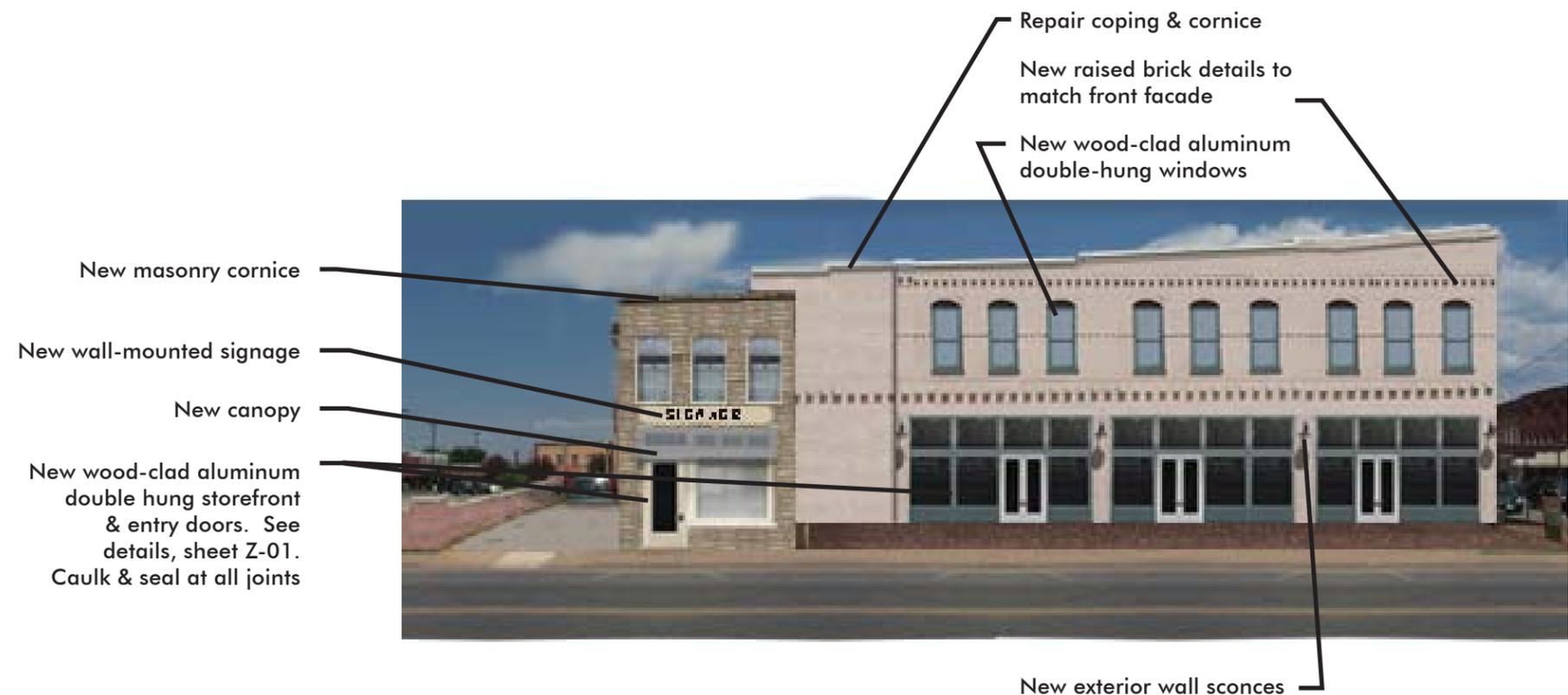
106 N High Street
Storefront Details:
Existing and Proposed

SHEET NO.

G-1



① G-1: 106 N HIGH STREET - EXISTING
Scale: Not to Scale



② G-1: 106 N HIGH STREET - PROPOSED
Scale: Not to Scale

PROJECT NAME

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Rehabilitation

PROJECT NUMBER

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tative. Please reference
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TITLE

120-126 1st Avenue NW
Storefront Details:
Existing and Proposed

SHEET NO.

G-2

- Repair existing coping & cornice details
- Tuck point brick as necessary (typical)
- Clean & scrape brick
- Remove existing condenser unit
- Remove existing window screens, plywood infill & substrate
- Remove existing metal siding
- Remove existing canopy, supports & anchors
- Remove existing storefront, entry doors & infill panels



① G-2: 120-126 1st AVENUE NW - EXISTING
Scale: Not to Scale

- Reglaze all windows
- Repaint brick
- New exterior wall sconces
- New wood-clad aluminum storefront & entry doors. See details, sheet Z-01
- Caulk & seal all joints (typical)



② G-2: 120-126 1st AVENUE NW - PROPOSED
Scale: Not to Scale

PROJECT NAME

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Rehabilitation

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NOTE

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tative. Please reference
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TITLE

114-118 1st Avenue NW
Storefront Details:
Existing and Proposed

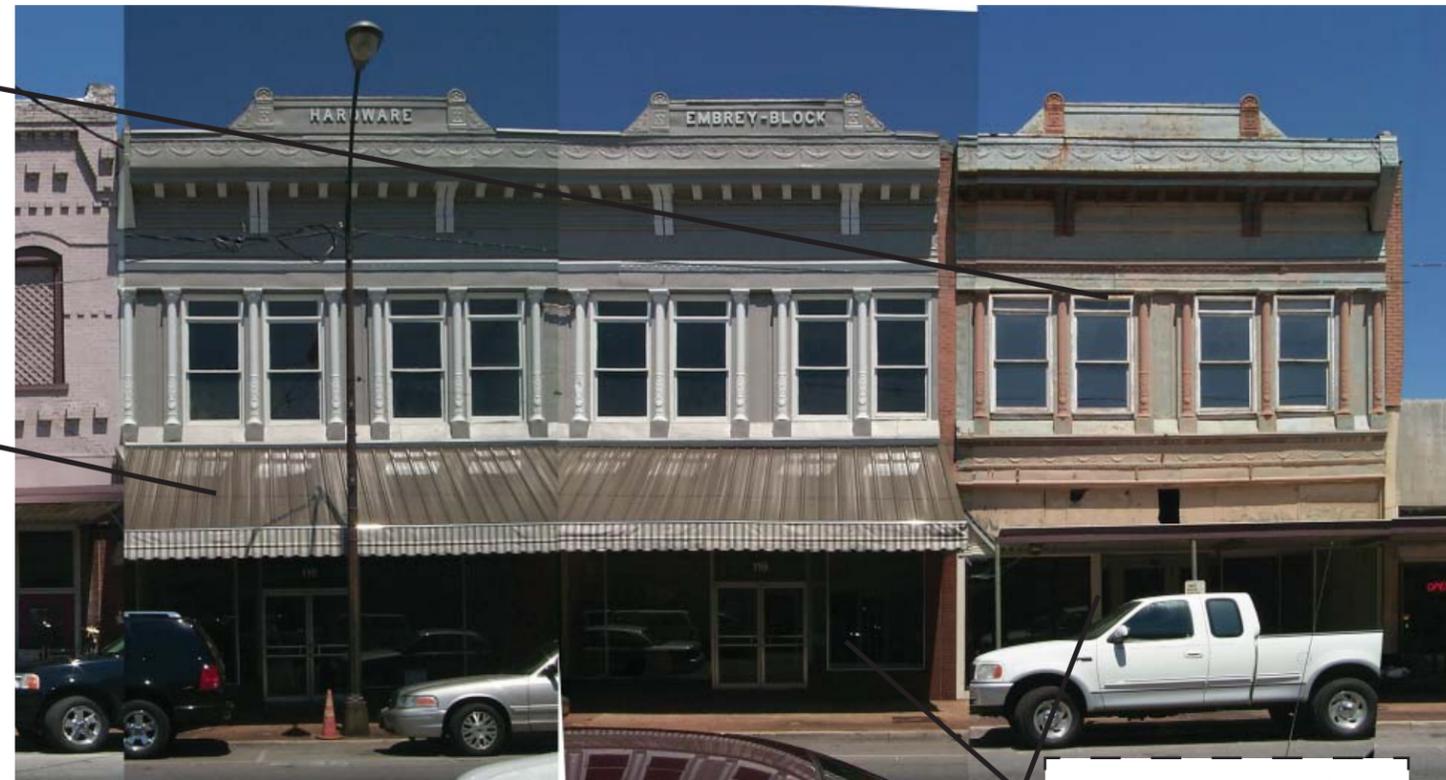
SHEET NO.

G-3

Clean & repair
metal cornice, trim &
panels as necessary

Scrape existing
window frames
& trim

Remove existing
canopy & anchors



Remove existing storefront,
entry doors & infill panels

① G-3: 114-118 1st AVENUE NW - EXISTING
Scale: Not to Scale

Repair/replace coping

Repaint metal
trim, columns &
panels

New uplights

New canopies

New wood-clad
aluminum storefront.
See details, sheet Z-01.
Caulk & seal all joints



② G-3: 114-118 1st AVENUE NW - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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NOTE

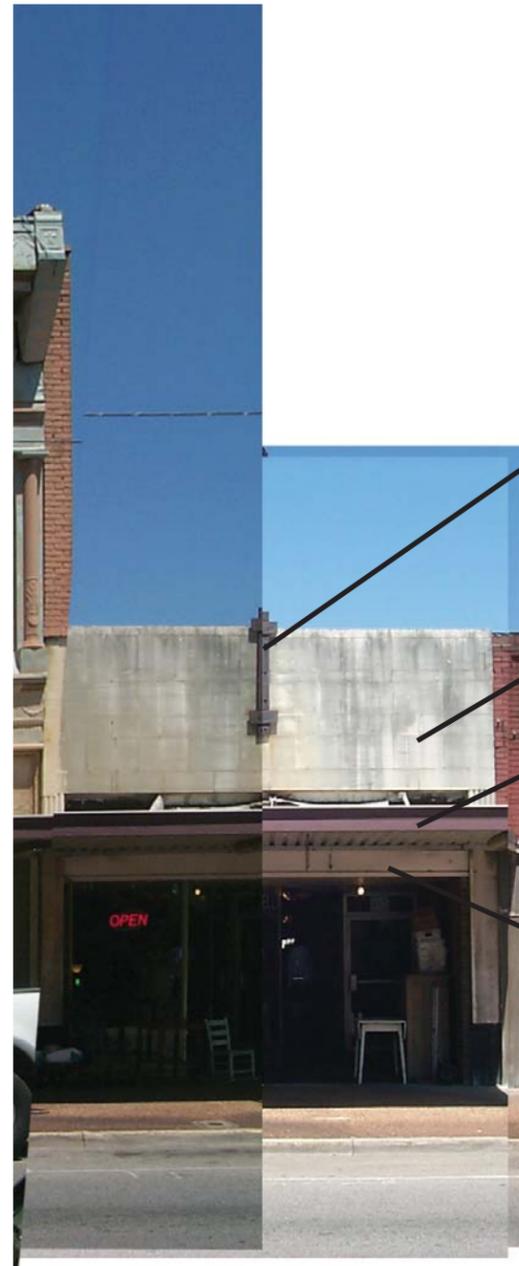
Sidewalks, light fixtures
and trees are represen-
tative. Please reference
Master Plan document
for specific location.

TITLE

112 1st Avenue NW
Storefront Details:
Existing and Proposed

SHEET NO.

G-4



① G-4: 112 1st AVENUE NW - EXISTING
Scale: Not to Scale

- New masonry cornice
- Remove existing sign holder.
Repair concrete at anchors
- Concrete profile joints
- New signage with
optional lights
- Clean & repaint
existing concrete
- Remove existing
canopy & anchors
- New canopy
- Remove existing storefront
& plywood infill & substrate.
New wood-clad, aluminum
storefront. See details, sheet
Z-01. Caulk & seal all joints
- New concrete at entry,
stained & sealed (typical)



② G-4: 112 1st AVENUE NW - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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TITLE

110 1st Avenue NW
Storefront Details:
Existing and Proposed

SHEET NO.

G-5



1 G-4: 110 1st AVENUE NW - EXISTING
Scale: Not to Scale

Repair coping at parapet

Tuck point brick as needed

Remove existing sign.
Repair & repaint holder
for new blade sign

Reglaze triangular window

New steel header

New ceiling-mounted
light fixture

Remove existing metal
siding, plywood infill
& substrate. New wood-
clad aluminum storefront,
entry door and transoms.
See details, sheet Z-01

New concrete at entry,
stained & sealed



2 G-4: 110 1st AVENUE NW - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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FILE NAME

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NOTE

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and trees are represen-
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TITLE

108 1st Avenue NW
Storefront Details:
Existing and Proposed

SHEET NO.

G-6



2 G-6: 108 1st AVENUE NW - EXISTING
Scale: Not to Scale

Reglaze windows. Caulk
& seal all joints

Tuck point brick as needed

Remove existing plywood
infill & substrate. New
wood-clad aluminum
storefront, entry door and
transoms. See details,
sheet Z-01

Repair existing concrete at
entry (as necessary)



2 G-6: 108 1st AVENUE NW - PROPOSED
Scale: Not to Scale

PROJECT NAME

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NOTE

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tative. Please reference
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TITLE

102-106 1st Avenue NW
Storefront Details:
Existing and Proposed

SHEET NO.

G-7

Remove signs & decals
from 2nd floor windows



1 G-6: 102-106 1st AVENUE NW - EXISTING
Scale: Not to Scale

Remove existing
storefront as needed
for new column



2 G-6: 102-106 1st AVENUE NW - PROPOSED
Scale: Not to Scale

Restored column.
Masonry to match existing

PROJECT NAME

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NOTE

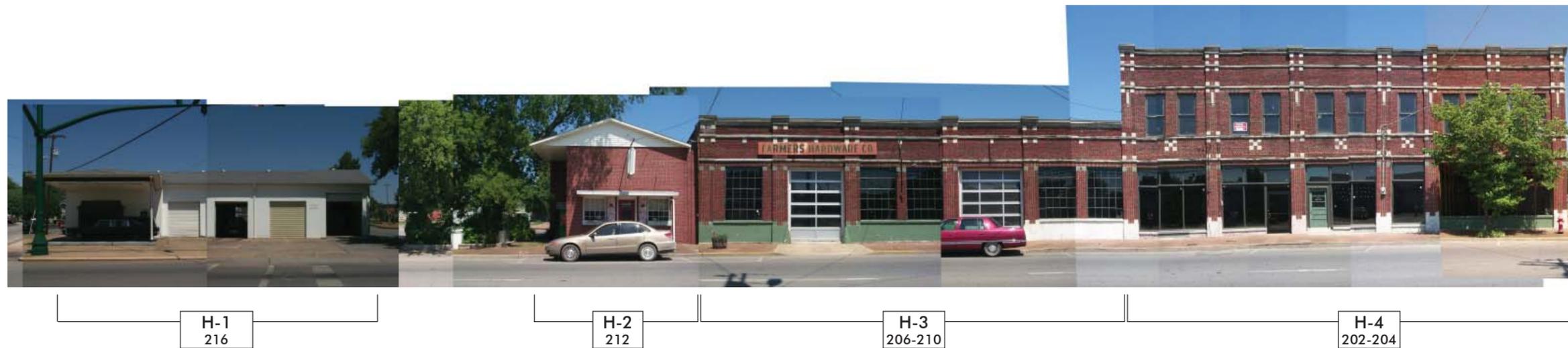
Sidewalks, light fixtures
and trees are represen-
tative. Please reference
Master Plan document
for specific location.

TITLE

1st Avenue NW
North Streetscapes:
Existing and Proposed

SHEET NO.

H-0



① STR-H: EXISTING 1st AVENUE NW NORTH STREETSCAPE
Scale: Not to Scale



New brick planters

② STR-H: PROPOSED 1st AVENUE NW NORTH STREETSCAPE
Scale: Not to Scale



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and trees are represen-
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TITLE

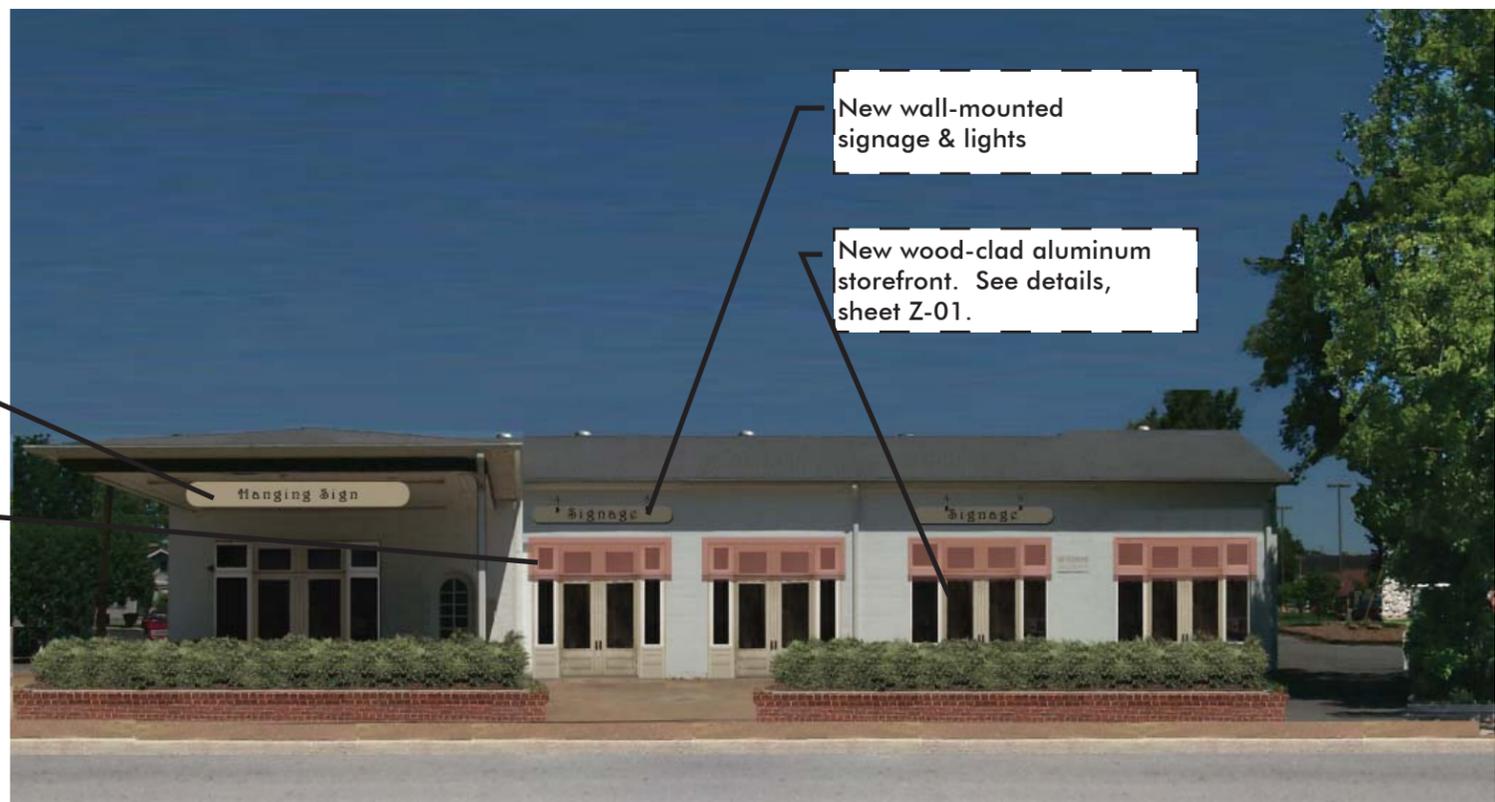
216 1st Avenue NW
Storefront Details:
Existing and Proposed

SHEET NO.

H-1



① H-1: 216 1st AVENUE NW - EXISTING
Scale: Not to Scale



② H-1: 216 1st AVENUE NW - PROPOSED
Scale: Not to Scale

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NOTE

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TITLE

212 1st Avenue NW
Storefront Details:
Existing and Proposed

SHEET NO.

H-2



Remove existing roof,
structure and cladding.
New brick parapet,
brick to match existing wall

Remove existing sign, reuse
frame for new blade sign

Remove existing canopy,
anchors, supports &
downspouts. Repair brick
as necessary

New canopy

Remove existing storefront,
entry door and infill. New
wood-clad aluminum
storefront. See details,
sheet Z-01. Caulk &
seal all joints (typical)



② H-2: 212 1st AVENUE NW - PROPOSED
Scale: Not to Scale

② H-2: 212 1st AVENUE NW - EXISTING
Scale: Not to Scale

Repair/replace masonry details as needed

Restore historic signage



① H-3: 206-210 1st AVENUE NW - EXISTING
Scale: Not to Scale

Remove existing garage door

New aluminum storefront & entry. See details, sheet Z-01. Transom windows to match existing industrial windows



② H-3: 206-210 1st AVENUE NW - PROPOSED
Scale: Not to Scale

New applied signage with optional lights or backlighting



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NOTE

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TITLE

206-210 1st Avenue NW
Storefront Details:
Existing and Proposed

SHEET NO.

H-3

Repair/replace masonry details as needed

Tuck point brick as necessary

Repair/replace concrete sill as needed



① H-3: 202-204 1st AVENUE NW - EXISTING
Scale: Not to Scale

New metal canopy

Reused entry door with new sidelights

Reused entry door with new sidelights



Reglaze storefront with additional divider

New hanging signage with optional lighting

② H-3: 202-204 1st AVENUE NW - PROPOSED
Scale: Not to Scale



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and trees are represen-
tative. Please reference
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TITLE

202-204 1st Avenue NW
Storefront Details:
Existing and Proposed

SHEET NO.

H-4

PROJECT NAME

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PROJECT NUMBER

02.08015.02

FILE NAME

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NOTE

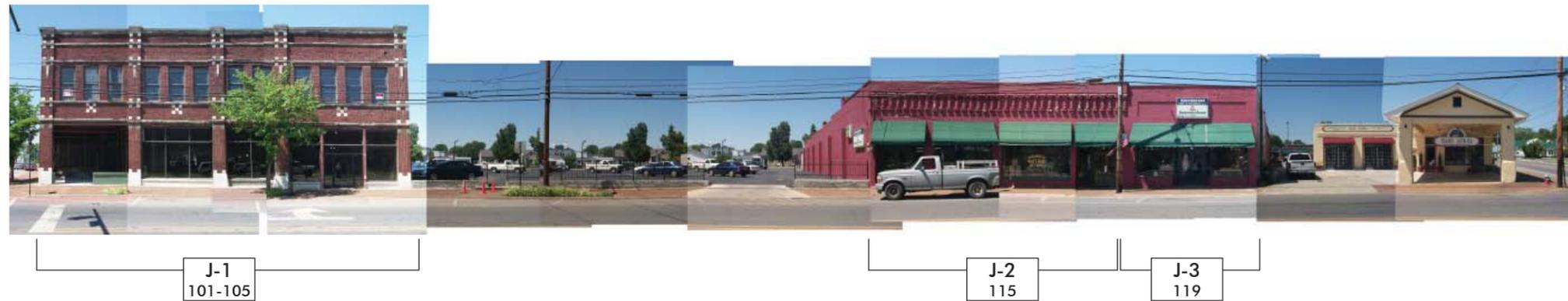
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tative. Please reference
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TITLE

N High Street
West Streetscapes:
Existing and Proposed

SHEET NO.

J-0



① STR-J: EXISTING N HIGH STREET WEST STREETScape
Scale: Not to Scale



② STR-J: PROPOSED N HIGH STREET WEST STREETScape
Scale: Not to Scale

Tuck point brick as needed. Repair/replace concrete details

Cap plumbing. Stain & seal concrete pad



1 J-1: 101-105 N HIGH STREET - EXISTING
Scale: Not to Scale



2 J-1: 101-105 N HIGH STREET - PROPOSED
Scale: Not to Scale



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Rehabilitation

PROJECT NUMBER

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NOTE

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and trees are represen-
tative. Please reference
Master Plan document
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TITLE

101-105 N High Street
Storefront Details:
Existing and Proposed

SHEET NO.

J-1

PROJECT NAME

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Rehabilitation

PROJECT NUMBER

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tative. Please reference
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TITLE

115 N High Street
Storefront Details:
Existing and Proposed

SHEET NO.

J-2

Tuck point brick as
necessary. Scrape
and clean loose paint

Remove existing
canopies & anchors.
Repair brick veneer
as needed



① J-2: 115 N HIGH STREET - EXISTING
Scale: Not to Scale

Repaint brick veneer

New wall-mounted
signage with optional
lights or backlighting

New canopies



② J-2: 115 N HIGH STREET - PROPOSED
Scale: Not to Scale

PROJECT NAME

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Rehabilitation

PROJECT NUMBER

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FILE NAME

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NOTE

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and trees are represen-
tative. Please reference
Master Plan document
for specific location.

TITLE

119 N High Street
Storefront Details:
Existing and Proposed

SHEET NO.

J-3



① J-3: 119 N HIGH STREET - EXISTING
Scale: Not to Scale

Tuck point brick as needed

Remove existing sign.
New wall mounted sign
with optional lighting

Remove existing
canopy & anchors

New canopy

Caulk and seal all
joints (typical)



② J-3: 119 N HIGH STREET - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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NOTE

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and trees are represen-
tative. Please reference
Master Plan document
for specific location.

TITLE

2nd Avenue NW
South Streetscapes:
Existing and Proposed

SHEET NO.

K-0



① STR-K: EXISTING 2nd AVENUE NW SOUTH STREETScape
Scale: Not to Scale



② STR-K: PROPOSED 2nd AVENUE NW SOUTH STREETScape
Scale: Not to Scale

PROJECT NAME

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Rehabilitation

PROJECT NUMBER

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NOTE

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tative. Please reference
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TITLE

101-103 2nd Avenue
NW
Storefront Details:
Existing and Proposed

SHEET NO.

K-1

Remove existing canopy,
frame & cladding

Clean & scrape
existing brick veneer

Scrape & sand existing
storefront frames & sills



① K-1: 101-103 2nd AVENUE NW - EXISTING
Scale: Not to Scale

New painted cornice

New wall-applied signage

New blade sign

Paint existing storefront.
Caulk & seal all joints



② K-1: 101-103 2nd AVENUE - PROPOSED
Scale: Not to Scale

New double entry door.
See details, sheet Z-01

PROJECT NAME

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NOTE

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and trees are representa-
tive. Please reference
Master Plan document
for specific location.

TITLE

107-111 2nd Avenue
NW
Storefront Details:
Existing and Proposed

SHEET NO.

K-2



① **K-2: 107-111 2nd AVENUE NW - EXISTING**
Scale: Not to Scale



② **K-2: 107-111 2nd AVENUE NW - PROPOSED**
Scale: Not to Scale

PROJECT NAME

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PROJECT NUMBER

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NOTE

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and trees are represen-
tative. Please reference
Master Plan document
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TITLE

113-115 2nd Avenue
NW
Storefront Details:
Existing and Proposed

SHEET NO.

K-3



① K-3: 113-115 2nd AVENUE NW - EXISTING
Scale: Not to Scale

- Clean & scrape existing brick. Paint to match adjacent bay
- Remove existing infill siding, substrate, windows & doors
- New lintel (if needed)
- Remove existing canopy
- New metal canopy
- New concrete panel infill
- New metal windows & entry doors to match industrial aesthetic of adjacent building. Caulk & seal all joints



② K-3: 113-115 2nd AVENUE NW - PROPOSED
Scale: Not to Scale

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tative. Please reference
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TITLE

N Jefferson Street
West Streetscapes:
Existing and Proposed

SHEET NO.

L-0



① STR-L: EXISTING N JEFFERSON STREET WEST STREETScape
Scale: Not to Scale



② STR-L: PROPOSED N JEFFERSON STREET WEST STREETScape
Scale: Not to Scale

New 3' brick wall
@ parking area

PROJECT NAME

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Rehabilitation

PROJECT NUMBER

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NOTE

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and trees are represen-
tative. Please reference
Master Plan document
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TITLE

105-111 N Jefferson
Street Storefront Details:
Existing and Proposed

SHEET NO.

L-1

Remove existing storefront
as required for new
column & wall



Remove existing infill
brick panel

1 L-1: 105-111 N JEFFERSON STREET - EXISTING
Scale: Not to Scale

New masonry infill wall
& column.
Masonry to match existing

New aluminum window,
to match existing



New aluminum window,
to match existing

2 L-1: 105-111 N JEFFERSON STREET - PROPOSED
Scale: Not to Scale

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Rehabilitation

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and trees are represen-
tative. Please reference
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for specific location.

TITLE

121 N Jefferson Street
Storefront Details:
Existing and Proposed

SHEET NO.

L-2



① L-2: 121 N JEFFERSON STREET - EXISTING
Scale: Not to Scale

Repair existing coping

New wall-mounted sign
and optional lights

Remove plywood infill,
substrate, storefront &
entry door

New wood-clad
aluminum storefront,
transoms & entry.
Caulk & seal all joints.
See details, sheet Z-01

Relocate existing
downspout & collector box



② L-2: 121 N JEFFERSON STREET - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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FILE NAME

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NOTE

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and trees are represen-
tative. Please reference
Master Plan document
for specific location.

TITLE

123 N Jefferson Street
Storefront Details:
Existing and Proposed

SHEET NO.

L-3



1 L-3: 123 N JEFFERSON STREET - EXISTING
Scale: Not to Scale

Repair/replace existing
coping as needed

New applied signage
with optional lights

Remove existing canopy,
framing & cladding. Repair
brick as needed

New canopy

Remove plywood infill,
substrate, storefront &
entry door

New wood-clad
aluminum storefront,
transoms & entry.
Caulk & seal all joints.
See details, sheet Z-01



2 L-3: 123 N JEFFERSON STREET - PROPOSED
Scale: Not to Scale

PROJECT NAME

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PROJECT NUMBER

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NOTE

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and trees are representa-
tive. Please reference
Master Plan document
for specific location.

TITLE

125-127 N Jefferson
Street Storefront Details:
Existing and Proposed

SHEET NO.

L-4

Remove existing canopy,
framing & cladding.
Repair brick veneer
as needed

Remove existing brick
as needed for new transoms

Remove existing door.
Save for possible reuse

Scrape & clean
windows, sills & trim

Scrape & remove loose
paint from brick veneer.
Prepare surfaces for repaint



① L-4: 125-127 N JEFFERSON STREET - EXISTING
Scale: Not to Scale

New painted cornice
& parapet

New wall-mounted signage
with optional lighting

New canopies

New transoms to
match existing

Refurbished/new entry door

Primed & painted windows,
sills & window trim



② L-4: 125-127 N JEFFERSON STREET - PROPOSED
Scale: Not to Scale

New blade sign

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Rehabilitation

PROJECT NUMBER

02.08015.02

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NOTE

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and trees are represen-
tative. Please reference
Master Plan document
for specific location.

TITLE

N Jefferson Street
East Streetscapes:
Existing and Proposed

SHEET NO.

M-0



① STR-M: EXISTING N JEFFERSON STREET EAST STREETScape
Scale: Not to Scale



② STR-M: PROPOSED N JEFFERSON STREET EAST STREETScape
Scale: Not to Scale

PROJECT NAME

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PROJECT NUMBER

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FILE NAME

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NOTE

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and trees are represen-
tative. Please reference
Master Plan document
for specific location.

TITLE

126-128 N Jefferson
Street Storefront Details:
Existing and Proposed

SHEET NO.

M-1



- Tuck point brick as necessary
- Remove existing plywood infill & substrate
- Remove existing canopy, supports & anchors. Repair brick as needed
- Remove existing storefront & entry doors

① M-1: 126-128 N JEFFERSON STREET - EXISTING
Scale: Not to Scale



- New wood-clad aluminum storefront, transoms & entry doors. See details, sheet Z-01
- Repair concrete at entry as needed, stained & sealed

② M-1: 126-128 N JEFFERSON STREET - PROPOSED
Scale: Not to Scale

PROJECT NAME

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Rehabilitation

PROJECT NUMBER

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NOTE

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and trees are represen-
tative. Please reference
Master Plan document
for specific location.

TITLE

122 N Jefferson Street
Storefront Details:
Existing and Proposed

SHEET NO.

M-2

Tuck point brick as needed.
Scrape & prepare surfaces
for new paint

Remove existing canopy,
supports & anchors.
Repair brick as necessary

Remove existing storefront
& entry doors

Repair sidewalk at
column locations



① M-2: 122 N JEFFERSON STREET - EXISTING
Scale: Not to Scale

New coping at parapet

Prime & paint brick

New wood-clad
aluminum storefront,
transoms & entry doors.
See details, sheet Z-01.
Caulk & seal all joints

New wall-mounted
signage with optional lights



② M-2: 122 N JEFFERSON STREET - PROPOSED
Scale: Not to Scale

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PROJECT NAME

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NOTE

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and trees are represen-
tative. Please reference
Master Plan document
for specific location.

TITLE

118 N Jefferson Street
Storefront Details:
Existing and Proposed

SHEET NO.

M-3

Note: Restoration
work completed
under seperate contract



① **M-3: 118 N JEFFERSON STREET - EXISTING**
Scale: Not to Scale



② **M-3: 118 N JEFFERSON STREET - PROPOSED**
Scale: Not to Scale

PROJECT NAME

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NOTE

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and trees are representa-
tive. Please reference
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for specific location.

TITLE

110 N Jefferson Street
Storefront Details:
Existing and Proposed

SHEET NO.

M-4

Tuck point brick as needed

Remove existing plywood

Clean & scrape existing
brick. Prepare all
surfaces for new paint

Remove existing overhang



Remove existing
storefront & entry doors

① M-4: 110 N JEFFERSON STREET - EXISTING
Scale: Not to Scale

New coping at parapet

Reglaze all windows
(replace if necessary).
Prime & paint watertable
to match window trim

New wood-clad
aluminum storefront,
transoms & entry doors.
See details, sheet Z-01.
Caulk & seal all joints

New canopies

New optional 2nd
floor tenant
identification sign



New blade sign on
existing frame

Repair existing concrete
as needed. Inset to
match existing

② M-4: 110 N JEFFERSON STREET - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

F:\graphics\com08\
020801502 - Winchester\
Streetscapes-noted.indd

DATE

March 16, 2009

NOTE

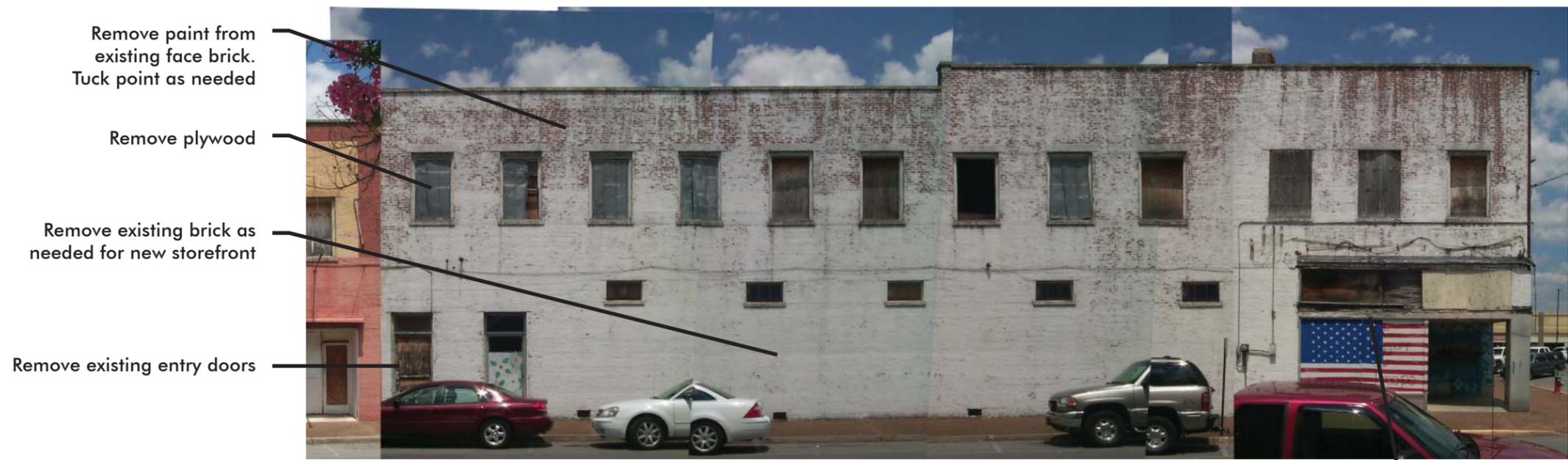
Sidewalks, light fixtures
and trees are represen-
tative. Please reference
Master Plan document
for specific location.

TITLE

106 N Jefferson Street
Storefront Details:
Existing and Proposed

SHEET NO.

M-5



Remove paint from
existing face brick.
Tuck point as needed

Remove plywood

Remove existing brick as
needed for new storefront

Remove existing entry doors

Remove existing plywood
& substrate. Remove
all remaining storefront
frames & components

① **M-5: 106 N JEFFERSON STREET - EXISTING**
Scale: Not to Scale



Reglaze (replace) windows

New canopies

New wood-clad
aluminum entry doors

New sidewalk-embedded
uplighting

New applied signage
with optional lighting

New wood-clad
aluminum storefront,
transoms & entry doors.
See details, sheet Z-01.
Caulk & seal all joints.
Storefront to match
front facade

② **M-5: 106 N JEFFERSON STREET - PROPOSED**
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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020801502 - Winchester\
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March 16, 2009

NOTE

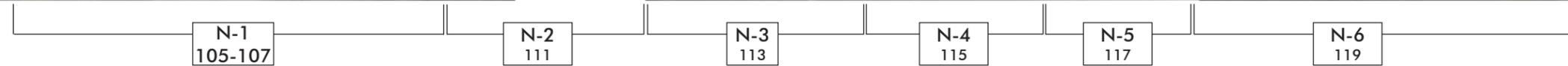
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and trees are represen-
tative. Please reference
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TITLE

1st Avenue NE
North Streetscapes:
Existing and Proposed

SHEET NO.

N-0



① STR-N: EXISTING 1st AVENUE NE NORTH STREETScape
Scale: Not to Scale



② STR-N: PROPOSED 1st AVENUE NE NORTH STREETScape
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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TITLE

105-107 1st Avenue NE
Storefront Details:
Existing and Proposed

SHEET NO.

N-1

Clean brick & mortar.
Tuck point as necessary



Remove existing plywood
infill & substrate

Remove existing metal
trim & cladding

① N-1: 105-107 1st AVENUE NE - EXISTING
Scale: Not to Scale

Reglaze windows

Applied signage &
lighting

Optional canopies

New wood-clad
aluminum transoms
& storefront. See
details, sheet Z-01

New sidewalk-
embedded uplighting

New concrete entry,
stained & sealed.
Recess to match existing



② N-1: 105-107 1st AVENUE NE - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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TITLE

111 1st Avenue NE
Storefront Details:
Existing and Proposed

SHEET NO.

N-2



① N-2: 111 1st AVENUE NE - EXISTING
Scale: Not to Scale



② N-2: 111 1st AVENUE NE - PROPOSED
Scale: Not to Scale

Repair cornice & coping
as needed

Remove existing
plywood & substrate

Remove existing
brick infill as
necessary for new
transoms

New wood-clad
aluminum transoms
& storefront. Ground
floor inset to match existing.
See details, sheet Z-01

Remove existing canopy,
anchors & straps

Restore existing tile entry
where present (typical). If not,
new concrete stoop and sill.
Recess to match existing

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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FILE NAME

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NOTE

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and trees are represen-
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TITLE

113 1st Avenue NE
Storefront Details:
Existing and Proposed

SHEET NO.

N-3



① N-3: 112 1st AVENUE NE - EXISTING
Scale: Not to Scale

Replace sign panel

Remove existing
shutters. Reglaze
all upper-level windows

Remove existing
canopy & anchors.
Repair brick as necessary

New applied signage
& lighting

New canopy

New wood-clad
aluminum transoms
& storefront with brick sills.
See details, sheet Z-01



② N-3: 113 1st AVENUE NE - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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FILE NAME

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March 16, 2009

NOTE

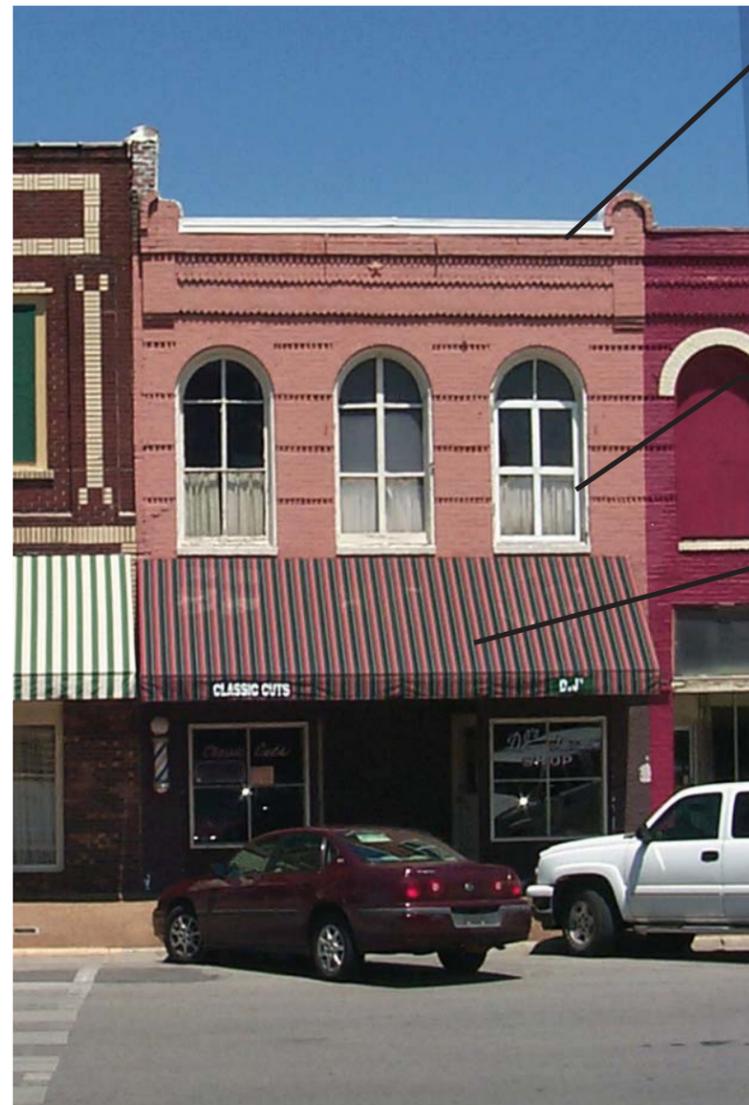
Sidewalks, light fixtures
and trees are represen-
tative. Please reference
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for specific location.

TITLE

115 1st Avenue NE
Storefront Details:
Existing and Proposed

SHEET NO.

N-4



① N-4: 000 1st AVENUE NE - EXISTING
Scale: Not to Scale

Remove existing paint
from brick veneer
(color approximated)

New brick cornice detail,
to match adjacent building
(sheet N-5)

Scrape and repaint existing
windows & trim. Apply
sealant at all joints (typical)

Remove existing
canopy & anchors.
Repair brick as necessary

New wood-clad
aluminum transoms
& storefront. Ground
floor inset to match existing.
See details, sheet Z-01

Repair concrete entry.
Recess to match existing



② N-4: 115 1st AVENUE NE - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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FILE NAME

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and trees are represen-
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TITLE

117 1st Avenue NE
Storefront Details:
Existing and Proposed

SHEET NO.

N-5



① N-5: 117 1st AVENUE NE - EXISTING
Scale: Not to Scale

- Repair existing brick cornice detail. Provide new metal coping at top of parapet
- Remove paint from face brick and mortar. Tuck point as necessary
- Remove existing plywood infill and substrate
- Remove existing fan unit
- Reglaze windows
- New wood-clad aluminum transoms & storefront. Ground floor inset to match existing. See details, sheet Z-01



② N-5: 117 1st AVENUE NE - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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NOTE

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tative. Please reference
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TITLE

119 1st Avenue NE
Storefront Details:
Existing and Proposed

SHEET NO.

N-6



① N-6: 119 1st AVENUE NE - EXISTING
Scale: Not to Scale



② N-6: 119 1st AVENUE NE - PROPOSED
Scale: Not to Scale

Tuck point brick (typical)

Infill brick at upper-level openings

Restore & repaint existing marquee & signage. Provide new electrical as necessary

Repair concrete as needed

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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NOTE

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and trees are represen-
tative. Please reference
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TITLE

N College Street
West Streetscapes:
Existing and Proposed

SHEET NO.

P-0



① STR-P: EXISTING N COLLEGE STREET WEST STREETScape
Scale: Not to Scale



② STR-P: PROPOSED N COLLEGE STREET WEST STREETScape
Scale: Not to Scale

New brick wall to
screen parking area

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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NOTE

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and trees are represen-
tative. Please reference
Master Plan document
for specific location.

TITLE

119 1st Avenue NE
(N College Street
Facade)
Storefront Details:
Existing and Proposed

SHEET NO.

P-1



① P-1: 119 1st AVENUE NE - EXISTING
Scale: Not to Scale



② P-1: 119 1st AVENUE NE - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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March 16, 2009

NOTE

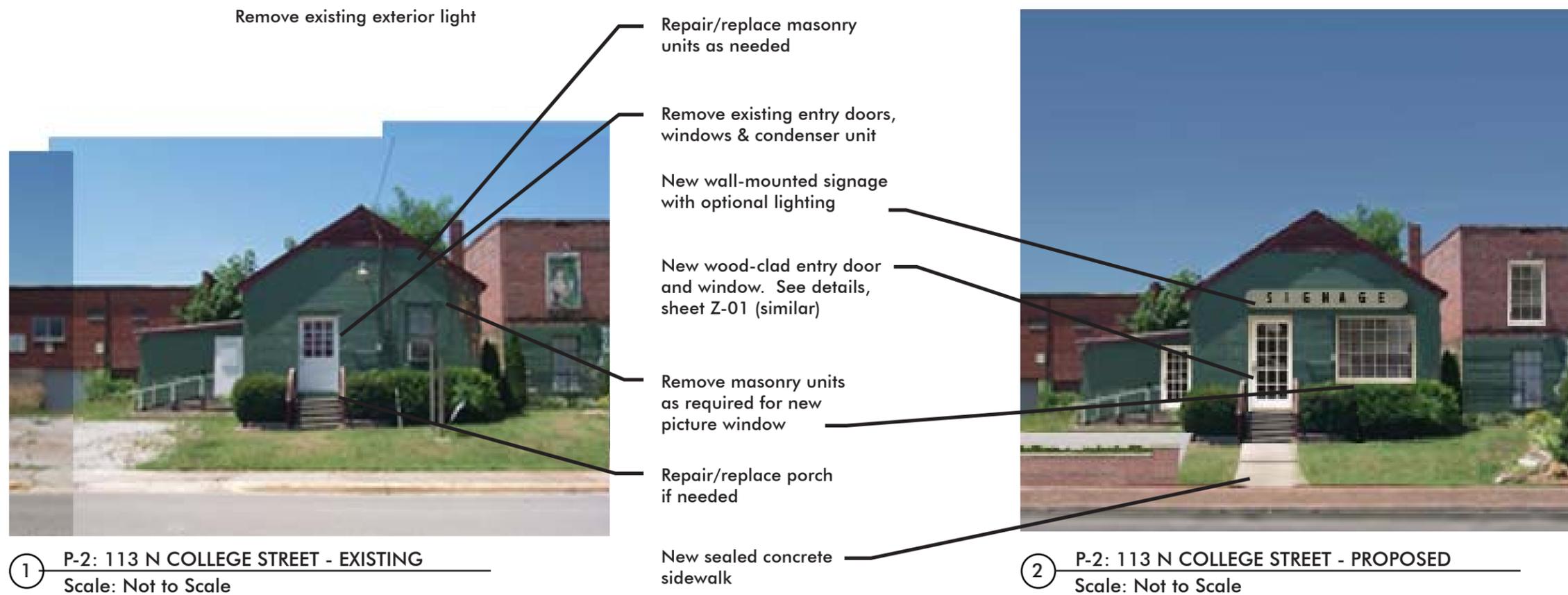
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TITLE

113 N College Street
Storefront Details:
Existing and Proposed

SHEET NO.

P-2



PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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NOTE

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and trees are represen-
tative. Please reference
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for specific location.

TITLE

125 N College Street
Storefront Details:
Existing and Proposed

SHEET NO.

P-3

Preserve historic signage

Tuck point brick as needed

Remove existing infill
& substrate



① P-3: 125 N COLLEGE STREET - EXISTING
Scale: Not to Scale

New wood-clad
aluminum double-hung
windows



② P-3: 125 N COLLEGE STREET - PROPOSED
Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

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FILE NAME

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NOTE

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and trees are represen-
tative. Please reference
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TITLE

128 N Jefferson Street
(2nd Avenue NE Facade)
Storefront Details:
Existing and Proposed

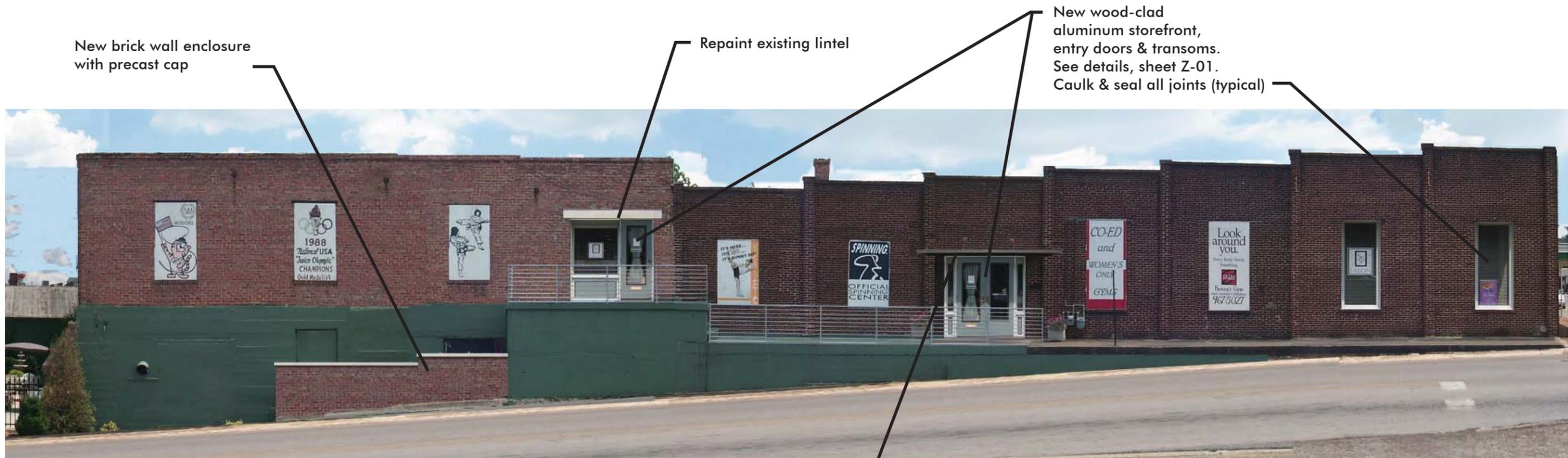
SHEET NO.

Q-0



1 Q-0: 128 N JEFFERSON STREET - EXISTING

Scale: Not to Scale



2 P-1: 128 N JEFFERSON STREET - PROPOSED

Scale: Not to Scale

PROJECT NAME

Winchester Storefront
Rehabilitation

PROJECT NUMBER

02.08015.02

FILE NAME

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NOTE

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and trees are represen-
tative. Please reference
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TITLE

116 N College Street
Storefront Details:
Existing and Proposed

SHEET NO.

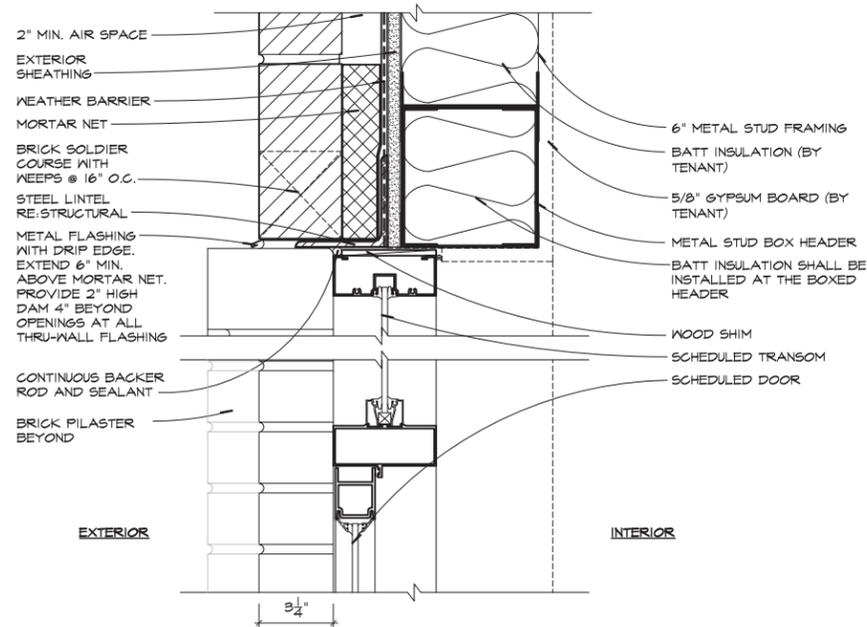
R-0



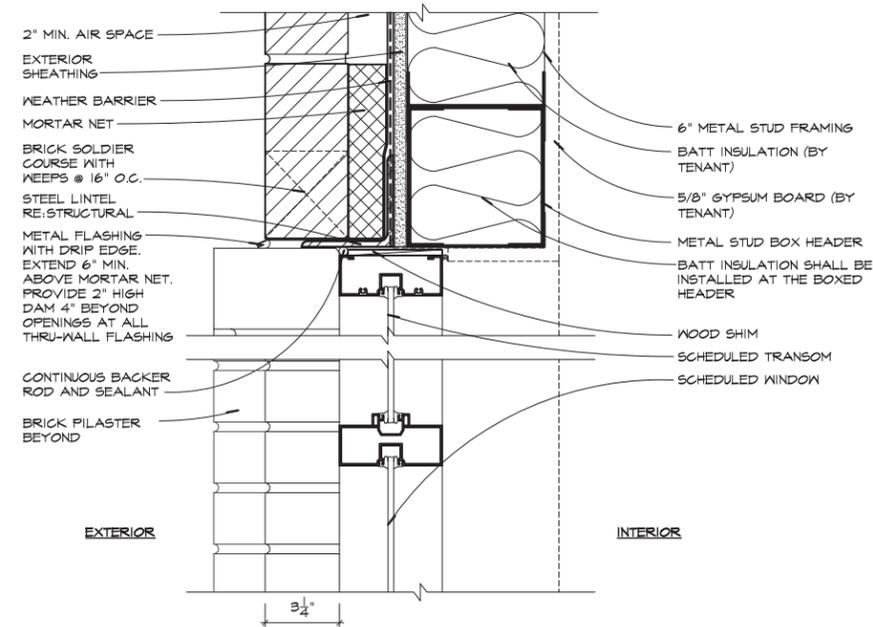
① R-0: 116 N COLLEGE STREET - EXISTING
Scale: Not to Scale



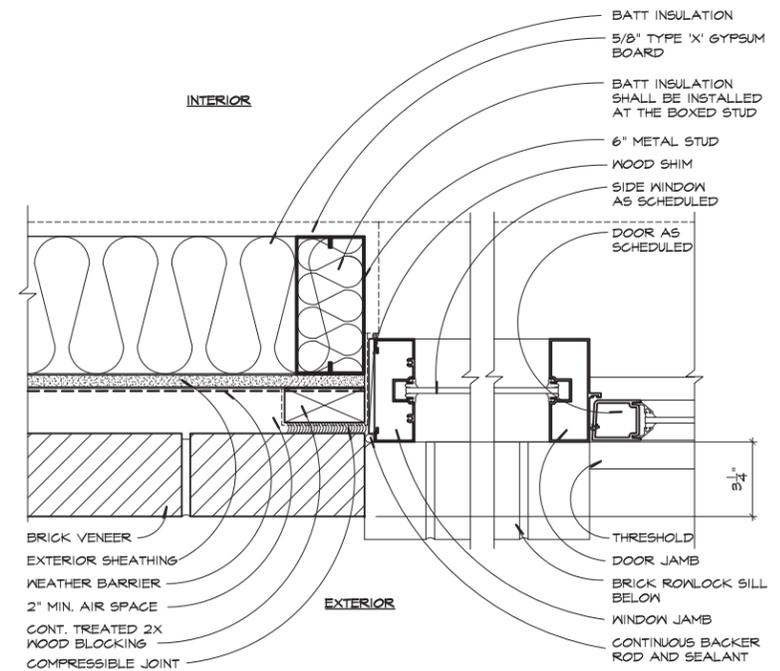
② R-0: 116 N COLLEGE STREET - PROPOSED
Scale: Not to Scale



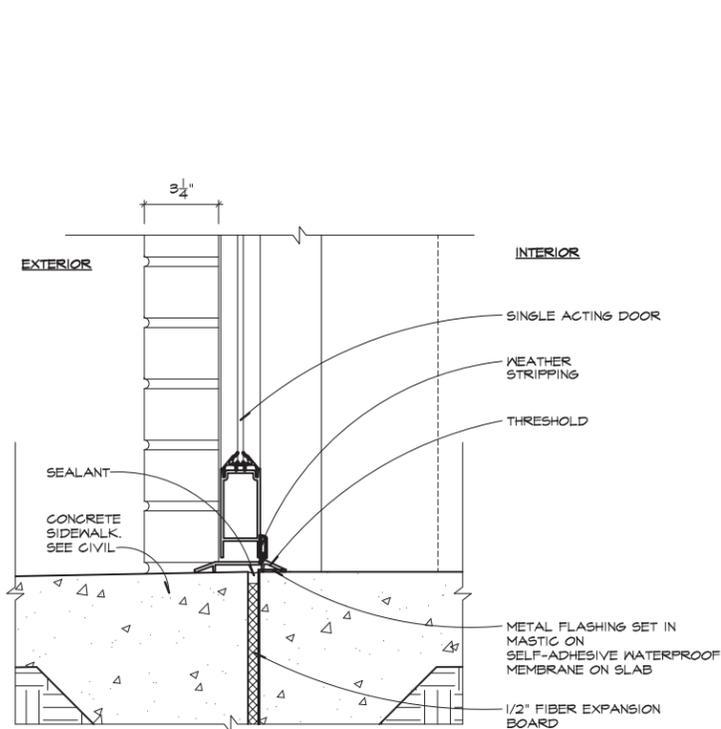
1 DOOR/TRANSOM HEAD DETAIL
Scale: 1 1/2" = 1'-0"



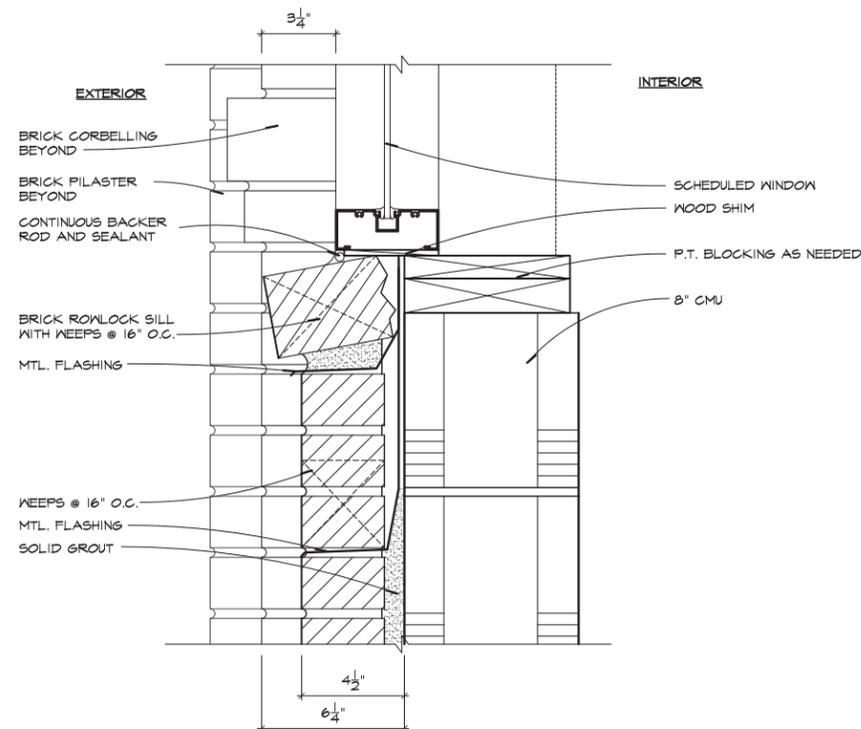
2 STOREFRONT/TRANSOM HEAD DETAIL
Scale: 1 1/2" = 1'-0"



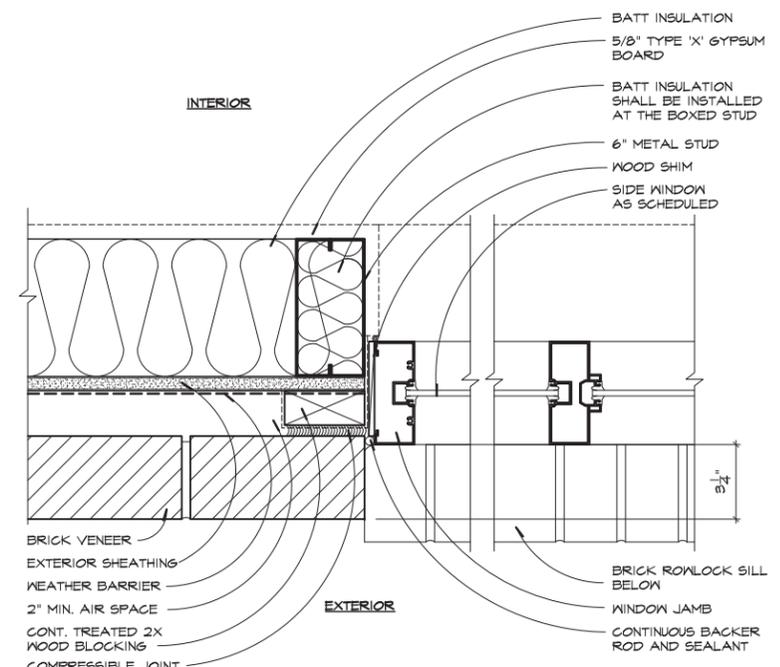
3 STOREFRONT/DOOR JAMB DETAIL
Scale: 1 1/2" = 1'-0"



4 DOOR THRESHOLD DETAIL
Scale: 1 1/2" = 1'-0"



5 STOREFRONT SILL DETAIL
Scale: 1 1/2" = 1'-0"



6 TRANSOM JAMB DETAIL
Scale: 1 1/2" = 1'-0"

PROJECT NAME

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Rehabilitation

PROJECT NUMBER

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FILE NAME

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NOTE

**Not Intended for
Construction**

TITLE

Typical Storefront Details

SHEET NO.

Z-1